

TO: His Worship Mayor Dan Ruimy
and Members of Council
FROM: Chief Administrative Officer

MEETING DATE: September 5, 2023
FILE NO: 2022-034-RZ
MEETING: CoW

SUBJECT: **Second Reading**
Zone Amending Bylaw No. 7852-2022
11926, 11936, 11946, 11956 236 Street and 23638 Dewdney Trunk Road

EXECUTIVE SUMMARY:

An application has been received to rezone the subject properties located at 11926, 11936, 11946, 11956 236 Street and 23638 Dewdney Trunk Road (see Appendices A and B), from the RS-3 (Single Detached Rural Residential) zone to the RM-1 (Low Density Townhouse Residential) zone and the R-2 (Single Detached (Medium Density) Urban Residential) zone, to permit a future subdivision into one RM-1 lot and three R-2 lots and the future construction of a townhouse development with 52 market strata dwelling units. The units would be configured as 3-bedroom townhouses. The proposed development would involve lot consolidation and road dedication. The townhouse development proposes a density of 0.75 FSR (Floor Space Ratio) based on the proposed lot area excluding the three R-2 lots. It would include concealed parking, except for tandem and visitor parking, facing the interior of the subject property in order to improve the streetscape. Council granted first reading to *Zone Amending Bylaw No. 7852-2022* (see Appendix C) on May 10, 2022.

This application is in compliance with the Official Community Plan (OCP).

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program at a rate of \$7,400.00 per townhouse dwelling unit and \$9,200.00 per single family lot, for an estimated amount of \$412,400.00, or such rate applicable at third reading of this application.

RECOMMENDATION:

1. That *Zone Amending Bylaw No. 7852-2022* be given second reading, and be forwarded to Public Hearing;
2. That the following terms and conditions be met prior to final reading:
 - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
 - ii) Road dedication for the lane as required;
 - iii) Consolidation of the subject properties;
 - iv) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;

- v) Registration of a Restrictive Covenant for the protection of Visitor Parking;
- vi) Registration of a Restrictive Covenant for Stormwater Management;
- vii) Removal of existing buildings;
- viii) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.
- ix) That a voluntary contribution, in the amount of \$412,400.00 (\$7,400.00 per townhouse dwelling unit and \$9,200.00 per single family lot), or such rate applicable at third reading of this application, be provided in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions.
- x) That a voluntary contribution, in the amount of \$467,573.80 (\$344.46 per square metre (\$32.00 per square foot) for Floor Space Ratio (FSR) in excess of 0.6 FSR), be provided in keeping with the applicable Density Bonus contribution.

DISCUSSION:

a) Background Context:

Applicant:	Kunwar Bir Singh
Legal Description:	Lot 48 Section 16 Township 12 New Westminster District Plan 20770; Lot 47 Section 16 Township 12 New Westminster District Plan 20770; Lot 46 Section 16 Township 12 New Westminster District Plan 20770; Lot 45 Section 16 Township 12 New Westminster District Plan 20770; Lot 3 Except: Part Dedicated Road on Plan LMP3164; Section 16 Township 12 New Westminster District Plan 10361
OCP Designation:	
Existing:	<i>Urban Residential</i>
Proposed:	<i>Urban Residential</i>
Within Urban Area Boundary:	Yes
OCP Major Corridor:	Yes
Zoning:	
Existing:	RS-3 (Single Detached Rural Residential)
Proposed:	RM-1 (Low Density Townhouse Residential); R-2 (Single Detached (Medium Density) Urban Residential)

Surrounding Uses:	
North:	Use: Single Detached Residential; Townhouse Residential Zone: RS-3 (Single Detached (Intensive) Urban Residential) RM-1 (Low Density Townhouse Residential)
East:	Designation: <i>Urban Residential</i> Use: Retail Zone: M-2 (General Industrial)
South:	Designation: <i>Urban Residential</i> Use: Single Detached Residential Zone: RS-1b (Single Detached (Medium Density) Residential)
West:	Designation: <i>Urban Residential</i> Use: Single Detached Residential; Townhouse Residential Zone: RM-1 (Low Density Townhouse Residential) Designation: <i>Urban Residential</i>
Use of Property:	
Existing:	Single Detached Residential
Proposed:	Townhouse Residential; Single Detached Residential
Site Area:	
Existing:	1.06 ha (2.6 acres)
Proposed:	1.03 ha (2.5 acres) (Including R-2 Lots); 0.93 ha (2.3 acres) (Excluding R-2 Lots)
Proposed Vehicular Accesses:	236 Street (R-1 Lot); Future Lane Extension (R-2 Lots)
Fraser Sewer Area:	Yes
Flood Plain:	No
Relevant Applications:	2022-034-VP (Development Variance Permit); 2022-034-DP (Multi-Family Development Permit); 2022-034-SD (Subdivision)

b) Site Characteristics:

The subject properties are located on 236 Street and Dewdney Trunk Road and have a total site area of 1.06 ha (2.6 acres) (see Appendices A and B). They have a few trees and are relatively flat. The subject properties are bounded by townhouse residential to the north, retail to the east, single detached residential to the south, and single detached residential and townhouse residential to the west. To the north, there is Dewdney Trunk Road with single detached residential across the road. To the west, there is 236 Street with townhouse residential across the road, and a lane extending from 236 Street. The subject properties have four single detached residences and accessory buildings/structures on them with vehicular accesses from 236 Street and Dewdney Trunk Road.

c) Project Description:

The applicant is proposing to rezone and subdivide the subject properties into one RM-1 (Low Density Townhouse Residential) lot and three R-2 (Single Detached (Medium Density) Urban Residential) lots and construct a townhouse development with 52 market strata dwelling units. The units would be configured as 3-bedroom townhouses. The proposed development would include concealed parking, except for tandem and visitor parking, facing the interior of the subject property in order to improve the streetscape and create a more urban form of development. The applicant is proposing to have vehicular access for the townhouse development (RM-1 lot) from 236 Street and vehicular access for the single detached residences (R-2 lots) from the future lane extension.

The proposed development would involve lot consolidation and road dedication. The proposed townhouse development would have a gross floor area of 6,912.5 m² (74,406.0 ft²) as calculated under the City's Zoning Bylaw. The density would be 0.75 FSR based on the proposed lot area excluding the three R-2 lots. The proposed townhouse development utilizes the proposed RM-1 (Low Density Townhouse Residential) zone's base allowable density of 0.6 FSR and additional density of 0.15 FSR through a density bonus for a cash contribution at a rate of \$344.46 per square metre (\$32.00 per square foot) for an estimated \$467,573.80.

d) Planning Analysis:

Official Community Plan:

The subject properties currently designated *Urban Residential*. The designation supports the proposed development under the RS-3 (Single Detached Rural Residential) zone to the RM-1 (Low Density Townhouse Residential) zone and the R-2 (Single Detached (Medium Density) Urban Residential) zone.

Zoning Bylaw and Off-Street Parking and Loading Bylaw:

The current application proposes to rezone the subject properties located at 11926, 11936, 11946, 11956 236 Street and 23638 Dewdney Trunk Road, from the RS-3 (Single Detached Rural Residential) zone to the RM-1 (Low Density Townhouse Residential) zone and the R-2 (Single Detached (Medium Density) Urban Residential) zone (see Appendix C), to permit a future subdivision into one RM-1 lot and three R-2 lots and the future construction of a townhouse development (see Appendices D and E).

Parking Requirements:

In terms of off-street parking, there are 115 spaces required and 117 spaces proposed. The proposed off-street parking would entail 2.25 parking spaces per unit (including visitor parking spaces). Long-term (residential) bicycle storage would be provided inside individual units and 8 short-term (visitor) bicycle parking spaces are proposed. Required and proposed parking are as per the table below.

Category	Number of Parking Spaces		Variance
Parking Spaces			
Residential		52 units x 2 spaces = 104.0 spaces	
	Required	104 residential parking spaces	
	Proposed	104 residential parking spaces	No
Visitors		52 units x 0.2 spaces = 10.4 spaces	
	Required	11 visitor parking spaces	
	Proposed	13 visitor parking spaces	No (Surplus of 2)
	Total Required	115 parking spaces	
	Total Proposed	117 parking spaces	
Accessible (2 spaces required)		Including 2 accessible spaces	No
Long-Term (Residential) Bicycle Parking Spaces			
	Proposed	Storage provided inside individual units	
Short-Term (Visitor) Bicycle Parking Spaces			
	Proposed	8 short-term bicycle parking spaces	

Common Open Area, Outdoor Amenity Area, Private Outdoor Area, and Permeability Requirements:

The proposed development meets common open area, outdoor amenity area, private outdoor area, and permeable area requirements. Required and proposed amounts are as per the table below.

Category	Amount of Area		Variance
Common Open Area (Includes Outdoor Amenity Area and Private Outdoor Area)			
Townhouses, 3+ Bedrooms		52 units x 45.0 m ² = 2,340.0 m ²	
	Required	2,340.0 m ² of common open area	
	Proposed	2,730.9 m ² of common open area	No
Outdoor Amenity Area			
Townhouses		52 units x 5.0 m ² = 260.0 m ²	
	Required	260.0 m ² of outdoor amenity area	
	Proposed	515.5 m ² of outdoor amenity area	No
Private Outdoor Area			
Dwelling Units		5.0% of dwelling unit	
	Required	Minimum 5.0% of dwelling unit	
	Proposed		No
Indoor Amenity Area			
Townhouses, 50+ Units		52 units x 3 m ² = 156.0 m ²	
	Required	156.0 m ² of indoor amenity area	
	Proposed	185.0 m ² of indoor amenity area	No
Permeable Area			
Townhouses		40% of proposed lot area	
	Required		
	Proposed	52.9% of proposed lot area	No

Proposed Variances:

The following variances will be required:

Off-Street Parking Design Variances:

Section 4.1 of the City's Off-Street Parking and Loading Bylaw requires townhouse units in the RM-1 zone with an enclosed double-car parking garage, in a side-by-side configuration, to have internal finished dimensions of not less than 6.5 m in width and 6.7 m in length. The applicant is seeking a variance to have internal finished dimensions of 5.81 m in width and 6.08 m in length.

Section 4.1 of the City's Off-Street Parking and Loading Bylaw requires townhouse units in the RM-1 zone with an enclosed single-car parking garage, in a tandem configuration, to have an internal finished dimension of not less 3.7 m in width and 6.7 m in length. The applicant is seeking a variance to have internal finished dimensions of 3.68 m and 6.07 m in length.

Section 4.1 of the City's Off-Street Parking and Loading Bylaw requires maneuvering aisles of not less than 7.0 m in width for concealed parking with a parking angle of 90 degrees. The applicant is seeking a variance to have a maneuvering aisle of 6.0 m in width.

Council Policy 6.35 notes that Council desires that no more than 30% of townhouse dwelling units in a proposed townhouse development have a tandem parking garage. 35% of townhouse dwelling units in the proposed townhouse development have a tandem parking garage. A variance is not required as the relevant RM-1 zone requirement indicates that the maximum percentage of townhouse dwelling units in a proposed townhouse development with a tandem parking garage is 50%.

Setback Variances:

<i>Setback</i>	<i>Principal Buildings (Section 617.7.2)</i>	<i>Building Projections (Section 403.2.4)</i>
Front Lot Line (Western)		
<i>Required</i>	6.0 m	4.75 m
<i>Proposed</i>	4.5 m	3.13 m
Rear Lot Line (Eastern)		
<i>Required</i>	7.5 m	6.25 m
<i>Proposed</i>	5.65 m	5.02 m (No Variance)
Interior Side Lot Line (Northern)		
<i>Required</i>	7.5 m	6.9 m
<i>Proposed</i>	2.91 m	N/A (No Variance)
Interior Side Lot Line (Southern)		
<i>Required</i>	7.5 m	6.9 m
<i>Proposed</i>	4.45 m	5.11 m (No Variance)
Exterior Side Lot Line (Northern)		
<i>Required</i>	7.5 m	6.25 m
<i>Proposed</i>	1.87 m	N/A (No Variance)

Maximum Building Height Variance:

Section 617.8.1 of the City's Zoning Bylaw limits maximum building height to 9.5 m for townhouse residential principal buildings. The applicant is seeking a variance to have a maximum building height of 11.13 m.

Development Permit:

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses.

The following is a brief description and assessment of the proposal's compliance with the applicable Key Guideline Concepts:

1. "New development into established areas should respect private spaces, and incorporate local neighbourhood elements in building form, height, architectural features and massing."
 - *Staff Comment: The proposed townhouse development would respect the privacy of adjacent residential areas. It includes privacy fences along the northern, southern, and western lot lines. The building form, massing, height, and architectural features are consistent with the local neighbourhood.*
2. "Transitional development should be used to bridge areas of low and high densities, through means such as stepped building heights, or low rise ground oriented housing located to the periphery of higher density developments."
 - *Staff Comment: The proposed townhouse development has an appropriate density. It will blend in with the townhouse residences to the north and west, the proposed single detached residences to the north, and the existing single detached residences to the south.*
3. "Large scale developments should be clustered and given architectural separation to foster a sense of community, and improve visual attractiveness."
 - *Staff Comment: The proposed townhouse development provides architectural separation through centrally located amenity areas (indoor and outdoor) to foster a sense of community and improve visual attractiveness.*
4. "Pedestrian circulation should be encouraged with attractive streetscapes attained through landscaping, architectural details, appropriate lighting and by directing parking underground where possible or away from public view through screened parking structures or surface parking located to the rear of the property."
 - *Staff Comment: The proposed townhouse development encourages pedestrian circulation through attractive streetscapes and internal pedestrian connections with appropriate lighting. Parking is generally concealed and located away from public view.*

Advisory Design Panel:

The application was reviewed by the Advisory Design Panel (ADP) at the May 17, 2023 meeting and their resolution/comments and the applicant's response can be seen in Appendix F. As per the ADP resolution from that meeting, the application was reviewed again by the ADP, with revised plans and

the applicant's response, at the July 19, 2023 meeting. It was resolved that the application meets recommendations as presented and that the applicant should proceed to Council (see Appendix F).

A detailed description of the project's form and character will be included in a future Development Permit report to Council.

Development Information Meeting:

A Development Information Meeting hosted by the applicant was held at Alexander Robinson Elementary School on March 14, 2023. 32 people attended the event. The notification requirements for the Development Information Meeting include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and information on the development.

A summary of the main comments and discussions with the attendees at the Development Information Meeting was provided by the applicant (see Appendix G) and includes the following main points:

- General support for a new and well-designed townhouse development providing additional housing
- Suggestions to include additional off-street parking and/or discourage residential use of on-street parking
- Suggestions for a traffic light at the intersection of 236 Street and Dewdney Trunk Road
- Suggestions for a traffic light or 4-way stop at the intersection of 236 Street and 119 Avenue

On March 30, 2023, after the Development Information Meeting, a petition with 248 signatures was received by the City with regard to the proposed development and a separate nearby proposed development in relation to the property located at 23682 Dewdney Trunk Road. In accordance with Council Policy 3.13, the petition was brought to the Council meeting on April 25, 2023 and includes the following main points:

- Concerns over emergency access for the proposed development
 - *Staff Comment: The proposed development includes an emergency access, with removable bollards, from the lane. The Engineering Department notes that the surrounding roads are constructed to meet the City's Design Criteria Manual, which was developed with support from the Fire Department, and are suitable for fire response now and with the development of the subject properties. The Fire Department reviewed the site plan and has no outstanding concerns.*
- Concerns over density and traffic congestion/safety and suggestions to require permits for on-street parking
 - *Staff Comment: In terms of density, the proposed density is within what the (RM-1 (Low Density Townhouse Residential) zone supports and the RM-1 zone is supported by the current Urban Residential land use designation.*
 - *Staff Comment: In terms of traffic congestion/safety, the Engineering Department notes that 119 Avenue is not at capacity and that a 4-way stop at the intersection of 236 Street and 119 Avenue, a traffic light at the intersection of 236 Street and Dewdney Trunk Road, and a 3-way stop at the intersection of Cottonwood Drive and 119 Avenue are not warranted based on the Transportation Association of Canada's warrant assessment guidelines to assess intersection control measures. Adequate sightlines for the main access to the proposed development will be required during the detailed design phase.*
 - *Staff Comment: In terms of permits for on-street parking, the Engineering Department notes that, while the City has Legislative Policy 9.09 (Resident-Exemption and Resident-Only Parking), resident-only parking is reserved for areas*

of high parking demand such as hospitals and transportation or commercial hubs where non-resident vehicles can take up limited on-street parking. The policy is not to be used to re-allocate a public resource between neighbours. The intent is that on-street parking would be utilized on a first-come, first-serve basis.

- Concerns over elementary and secondary schools at capacity
 - *Staff Comment: See comments regarding the school district in the following section.*

e) Interdepartmental/External Implications:

Engineering Department:

- The Engineering Department has indicated that road dedication and frontage/servicing upgrades through the Rezoning Servicing Agreement will be required.
 - Road dedication as required to meet the design criteria of *Subdivision and Development Servicing Bylaw No. 4800-1993*, as amended.
 - Frontage upgrades to the applicable road standard.
 - Utility servicing as required to meet the design criteria of *Subdivision and Development Servicing Bylaw No. 4800-1993*, as amended.

Fire Department:

- The applicant was provided with comments from the Fire Department about matters to be addressed through the Building Permit process.

Building Department:

- The applicant was provided with comments from the Building Department about matters to be addressed through the Building Permit process.

School District:

- School District No. 42 provided comments on the proposed development (see Appendix H).
- The proposed development would affect the student population for the catchment areas currently served by Alexander Robinson Elementary and Garibaldi Secondary School.
- Alexander Robinson Elementary has an operating capacity of 471 students. For the 2022-2023 school year, the student enrollment at Alexander Robinson is 539 students (114% utilization) including 146 students from out of catchment.
- Garibaldi Secondary School has an operating capacity of 1050 students. For the 2022-2023 school year, the student enrollment at Garibaldi Secondary School is 971 students (93% utilization) including 267 students from out of catchment.
- Based on the density estimates for the various land uses at build out, the following would apply:
 - For the proposed 52-unit townhouse development, the estimated number of school-age residents is 22.
 - For the proposed 3 single detached residences, the estimated number of school-age residents is 2.

CONCLUSION:

It is recommended that second reading be given to *Zone Amending Bylaw No. 7852-2022* and that application 2022-034-RZ be forwarded to Public Hearing.

"Original Signed by Daniel Rajasooriar"

Prepared by: **Daniel Rajasooriar, MRM**
Planner

"Original Signed by Charles R. Goddard"

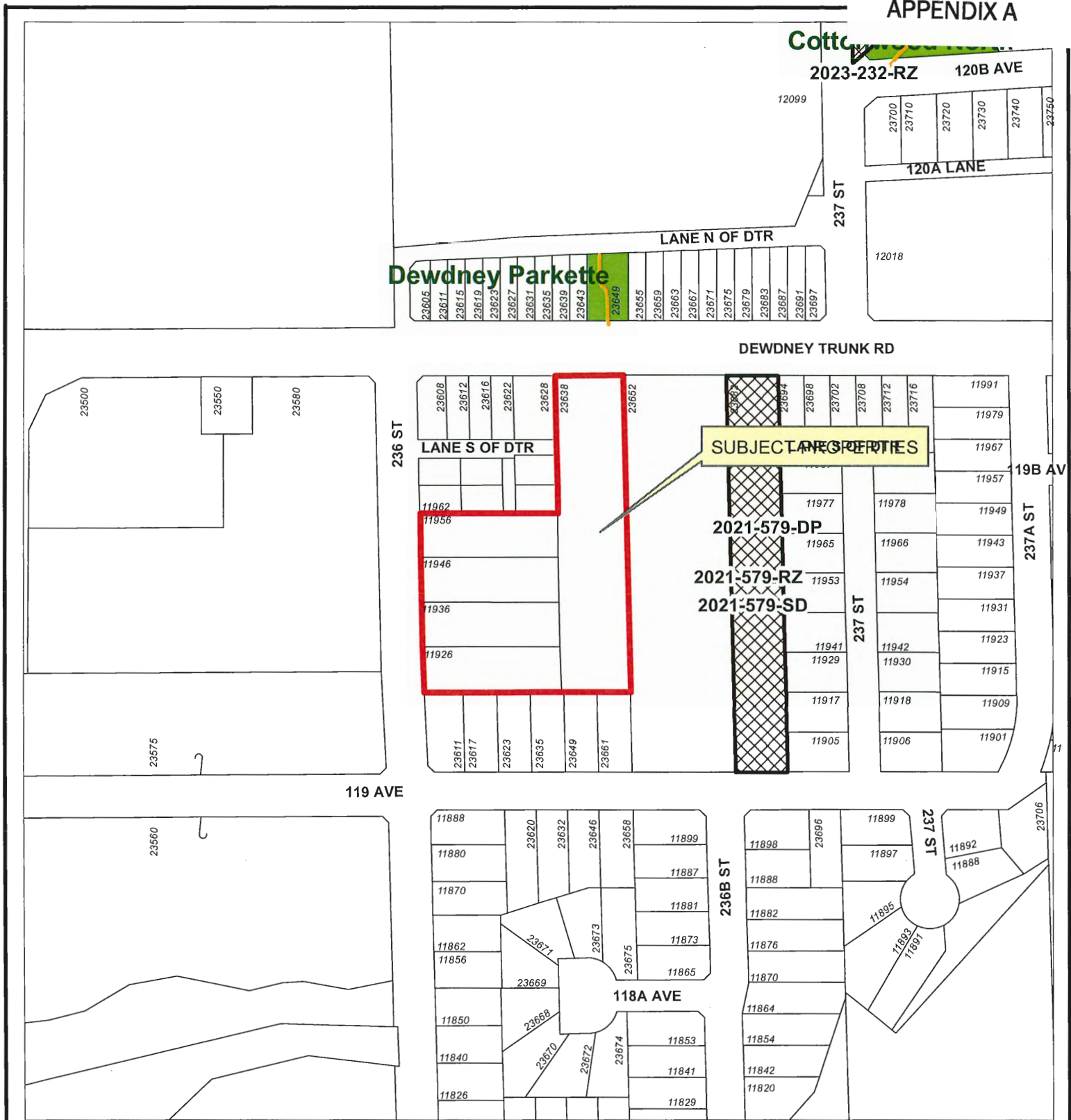
Approved by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original Signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer




The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Zone Amending Bylaw No. 7852-2022
- Appendix D – Proposed Architectural Plans
- Appendix E – Proposed Landscape Plans
- Appendix F – ADP Resolutions/Comments and Applicant Response
- Appendix G – Development Information Meeting Summary
- Appendix H – School District No. 42 Comments



Scale: 1:2,500

Legend

-  Existing Trails
-  Active Applications (RZ/SD/DP/VP)
-  Municipal Park

11926-11956 236 STREET & 23638
DEWDNEY TRUNK ROAD
ACTIVE DEVELOPMENT IN AREA

PLANNING DEPARTMENT



MAPLE RIDGE
British Columbia

mapleridge.ca

FILE: 2022-034-RZ

DATE: Aug 18, 2023

BY: DT



Scale: 1:2,500



11926-11956 236 STREET &
23638 DEWDNEY TRUNK ROAD
ORTHO

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2022-034-RZ
DATE: Aug 18, 2023

BY: DT

**CITY OF MAPLE RIDGE
BYLAW NO. 7852-2022**

A Bylaw to amend Schedule 'A' Zoning Map forming part of
Zoning Bylaw No. 7600-2019, as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019, as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7852-2022."
2. Those parcels or tracts of land and premises known and described as:

Lot 45 Section 16 Township 12 New Westminster District Plan 20770;
Lot 46 Section 16 Township 12 New Westminster District Plan 20770;
Lot 47 Section 16 Township 12 New Westminster District Plan 20770;
Lot 48 Section 16 Township 12 New Westminster District Plan 20770; and
Lot 3 Section 16 Township 12 New Westminster District Plan 10361

and outlined in heavy black line on Map No. 1960 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-1 (Low Density Townhouse Residential) and R-2 (Single Detached (Medium Density) Urban Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019, as amended, and Map 'A' attached thereto are hereby amended accordingly.

READ a first time the 10th day of May, 2022.

READ a second time the day of , 20 .

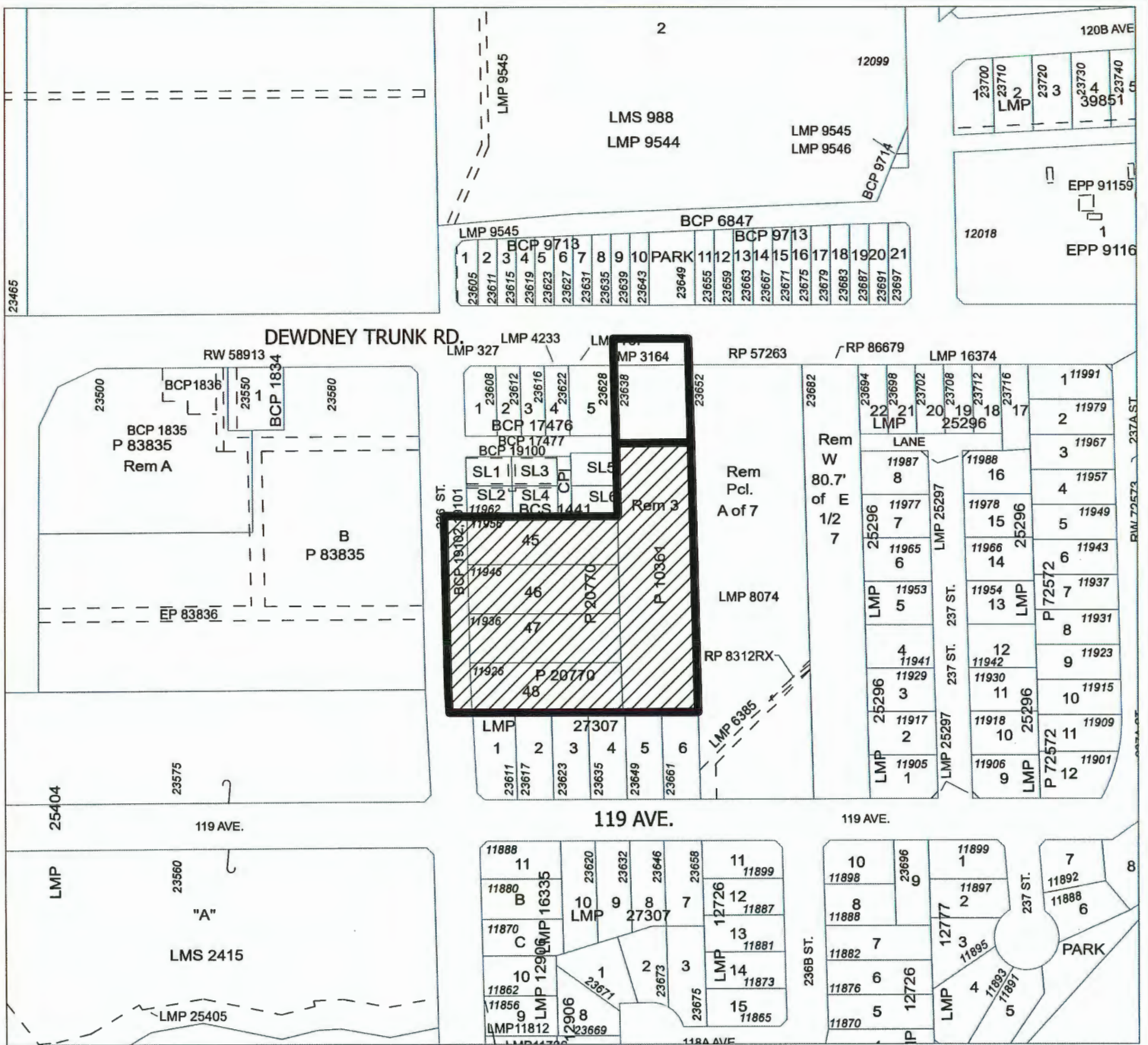
PUBLIC HEARING HELD the day of , 20 .

READ a third time the day of , 20 .

ADOPTED the day of , 20 .

PRESIDING MEMBER

CORPORATE OFFICER





MAPLE RIDGE ZONE AMENDING

Bylaw No. 7852-2022

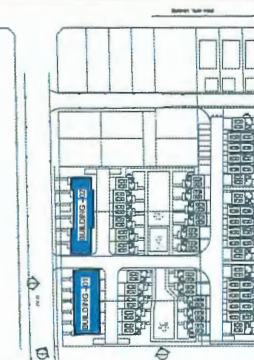
Map No. 1960

From: RS-3 Single Detached Rural Residential

To:  R-2 Single Detached (Medium Density) Urban Residential
 RM-1 Low Density Townhouse Residential



SCALE 1:2,500



Kasian Architecture
Interior Design
and Planning Ltd

1800 West Georgia Blvd, Suite 100
Vancouver, BC Canada V6C 2G8
T 604 882 4145 F 604 882 3257
www.kasian.com

4. 2022 APR 11 ISSUED FOR ADP SUBMISSION
3. 2022 NOV 22 ISSUED FOR DP SUBMISSION
2. 2022 SEP 27 ISSUED FOR DP SUBMISSION
1. 2022 JAN 10 PRELIMINARY DESIGN LAYOUT
REV. 1/11/2020 PRELIMINARY LAYOUT

CONSULTANT

PROJECT CHAIR

SCALE



PROJECT

23638 TOWNHOUSES

23638 DEWDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

3D VIEW FROM 2

DRAWING ISSUE

DP SUBMISSION

PROJECT NO. 722057

PLOT DATE 18-08-2023

DRAWING NO. ADP-0.

APPENDIX D



Kasian Architecture
Interior Design
and Planning Ltd

1800 West Georgia Street, Suite 1000
Vancouver, BC Canada V6C 2S8
1 800 882-4165 F 604 682-1427
www.kasian.com

4. 2022 APR 11. ISSUED FOR ADP SUBMISSION
3. 2022 NOV 20. ISSUED FOR DP SUBMISSION
2. 2022 SEP 22. ISSUED FOR DP SUBMISSION
1. 2022 JAN 10. PRELIMINARY DESIGN LAYOUT
REV. 1. 2022 MAR 20. REVISION / TRAILING ISSUE

CONSULTANT

PROJECT STAMP

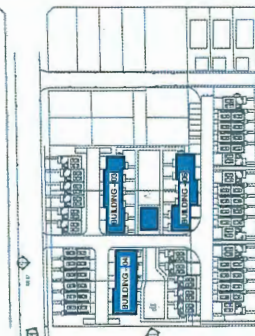


PROJECT
23638 TOWNHOUSES
23638 DEWDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE
3D VIEW ADP-0.30

DRAWING ISSUE
DP SUBMISSION

PROJECT NO. 722067	PLOT DATE 18-08-2023	DRAWN SZ	KT
DRAWING NO.	SCALE	REVIEWED	SZ
ADP-0.30			4





Kasian Architecture
Interior Design
and Planning Ltd

1800 West Georgia Street, Suite 1803
Vancouver, BC Canada V6C 2G5
Tel: 604 681 1111 Fax: 604 681 2007
www.kasian.com

1	2022 APR 17	ISSUED FOR AGM SUBMISSION	
2	2022 MAY 20	REVISED FOR AGM SUBMISSION	
3	2022 SEP 27	REVISED FOR AGM SUBMISSION	
4	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 1	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 2	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 3	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 4	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 5	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 6	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 7	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 8	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 9	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 10	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 11	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 12	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 13	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 14	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 15	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 16	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 17	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 18	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 19	2023 APR 17	REVISED FOR AGM SUBMISSION	
REV. 20	2023 APR 17	REVISED FOR AGM SUBMISSION	

POWER STAMP

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SEAL

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PROJECT

23638-TOWN HOUSES

23638 DEWDNEY TRUNK RD,
MAPLE RIDGE, B.C. CANADA.

DRAWING TITLE

SITE PLAN

DRAWING ISSUE

DP SUBMISSION

PROJECT NO.	722067	PLAT DATE	18-08-2023	DRAWN	AD
SCALE	1/24" = 1'-0"	REVIEWED	CY		
DRAWING NO.	ADP-2.11	REVISION	4		

DEWDNEY TRUNK ROAD

FUTURE R-3 LOTS

EXISTING MULTI FAMILY

REM PCL A OF 7

SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING PROPERTY LINE
- FIRE TRUCK LINE
- OUT DOOR AMENITY AREA
- SPECIALTY PAVING
- SIDE WALK
- ROAD DEDICATION
- PROPOSED LOCATION OF MAIL BOXES

SYMBOL LEGEND

- CATCH BASIN
- SLOPE DIRECTION
- SITE SECTION
- DROP IN LEVEL
- ELEVATION VIEW
- STREET VIEW

1
06/21/21
SITE PLAN
1/24" = 1'-0"

MATERIAL LEGEND :

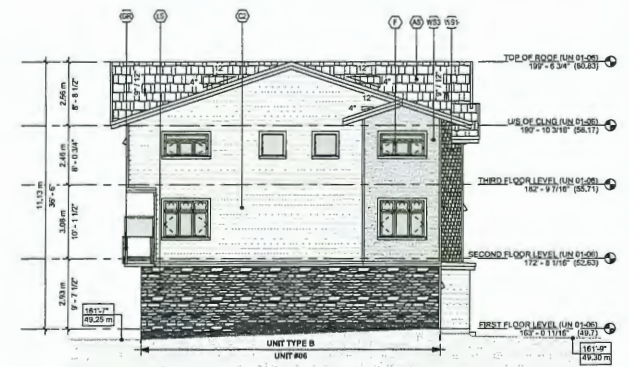
MATERIAL	COLOR	
AS ASPHALT SHINGLES	DARK GREY	
FL FLASHING	WHITE	
FA FASCIA	WHITE	
GR GUARD/RAILING	BLACK	
WS1 HARDI WALL SHINGLES	GREY	
WS2 HARDI WALL SHINGLES	GREEN/BLACK	
CS 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
LS LEDGE STONE CLADDING	BRICK DARK	
TR1 TRIM	GREY	
TR2 TRIM	WHITE	
D DOORS	BLACK	
W WINDOWS	BLACK/WHITE	
RD ROLL-UP DOOR	GREY	
CB COLUMNS	GREY	



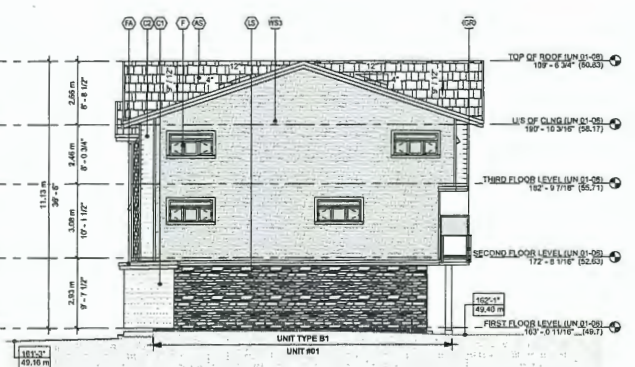
① EAST ELEVATION
1/8" = 1'-0"



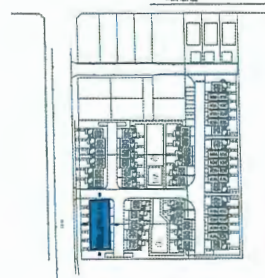
② WEST ELEVATION
1/8" = 1'-0"



③ NORTH ELEVATION
1/8" = 1'-0"



④ SOUTH ELEVATION
1/8" = 1'-0"



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PROJECT
23638 TOWNHOUSES
23638 DEWNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE
BUILDING-01 ELEVATIONS

DRAWING CODE
DP SUBMISSION

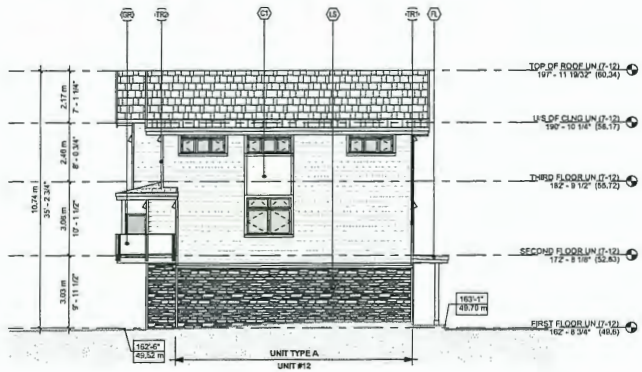
PROJECT NO.	722067	DATE	18-08-2023	DRAWN	KT
SCALE	As indicated	REVIEWED	SZ	REVISION	
DRAWING NO.	ADP-5.11				4



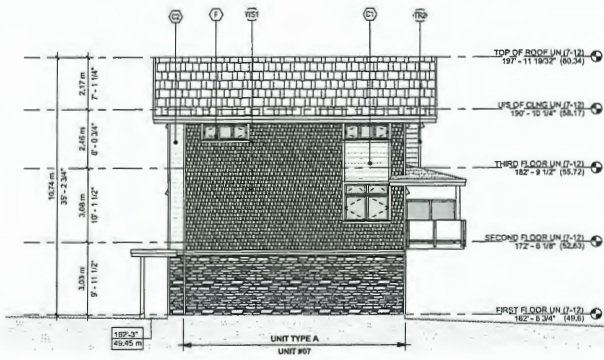
1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



















3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(AS) ASPHALT SHINGLES	DARK GREY	
(FL) FLASHING	WHITE	
(FA) FASCIA	WHITE	
(GR) GUARD/RAILING	BLACK	
(WS) HARDI WALL SHINGLES	CASTLEGATE	
(WS) HARDI WALL SHINGLES	GREENBLACK	
(CS) 8" HARDI SIDING	GREENBLACK	
(CS) 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
(CS) 8" HARDI SIDING	CASTLEGATE	
(LS) LEDGE STONE CLADDING	BRICK DARK	
(TR) TRIM	GREY	
(TR) TRIM	WHITE	
(P) DOORS	BLACK	
(P) WINDOWS	BLACK /WHITE	
(RD) ROLL-UP DOOR	GREY	
(CC) COLUMNS	GREY	

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PROJECT

23638 TOWNHOUSES

23638 DEWIDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

BUILDING-02 ELEVATIONS

DRAWING DATE

DP SUBMISSION

PROJECT NO. 722057

DATE 18-08-2023

SCALE As Indicated

REVISION

ADP-5.21

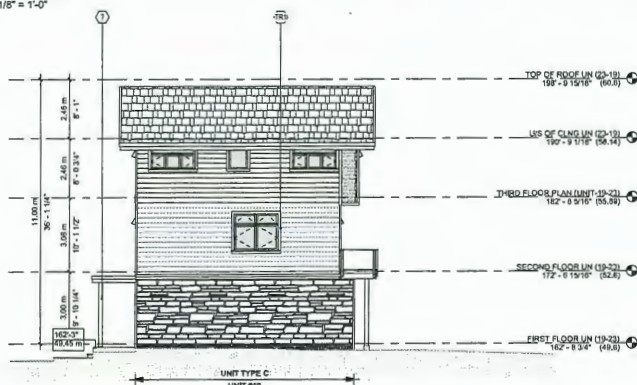
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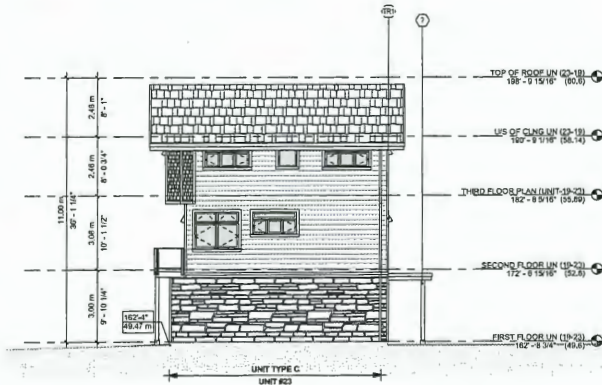
① EAST ELEVATION
1/8" = 1'-0"



② WEST ELEVATION
1/8" = 1'-0"



③ NORTH ELEVATION
1/8" = 1'-0"



④ SOUTH ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
AS ASPHALT SHINGLES	DARK GREY	
FLASHING	WHITE	
FASCIA	WHITE	
GUARDRAILING	BLACK	
HARDI WALL SHINGLES	CASTLEGATE	
8" HARDI SIDING	HIGH REFLECTIVE WHITE	
8" HARDI SIDING	HIGH REFLECTIVE WHITE	
LEDGE STONE CLADDING	BRICK DARK	
TRIM	GREY	
TRIM	WHITE	
DOORS	BLACK	
WINDOWS	BLACK / WHITE	
ROLL-UP DOOR	GREY	
COLUMNS	GREY	

1. 2022 APR 17 ISSUED FOR ADP SUBMISSION
2. 2022 MAY 17 ISSUED FOR DP SUBMISSION
3. 2022 SEP 27 ISSUED FOR DP SUBMISSION
4. 2022 JAN 17 ISSUED FOR DP SUBMISSION
REV. 1/1/2022 DRAWING ISSUE REVIEW

DESIGN TEAM

SEA



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PROJECT

23638 TOWNHOUSES

23638, DEWDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

BUILDING-04 ELEVATIONS

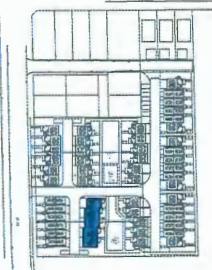
DRAWING ISSUE

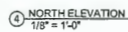
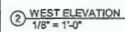
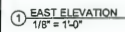
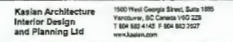
DP SUBMISSION





























PROJECT NO. T22067 PLT DATE 18-08-2023 DRAWN BY KT

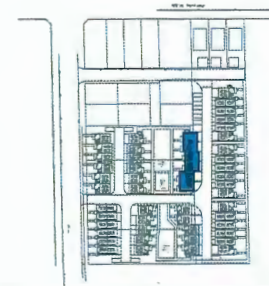
SCALE As indicated REVIEWED SZ

DRAWING NO. ADP-5.41 REVISION 4





MATERIAL	COLOR	
 ASPHALT SHINGLES	DARK GREY	
 FLASHING	WHITE	
 FASCIA	WHITE	
 GUARDRAILING	BLACK	
 HARDI WALL SHINGLES	CASTLEGATE	
 HARDI WALL SHINGLES	GREEN/BLACK	
 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
 LEDGE STONE CLADDING	BRICK DARK	
 TRIM	GREY	
 TRIM	WHITE	
 DOORS	BLACK	
 WINDOWS	BLACK/WHITE	
 ROLL-UP DOOR	GREY	
 COLUMNS	GREY	



PRINT STAMP



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23638 TOWNHOUSES

23638, DEWDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

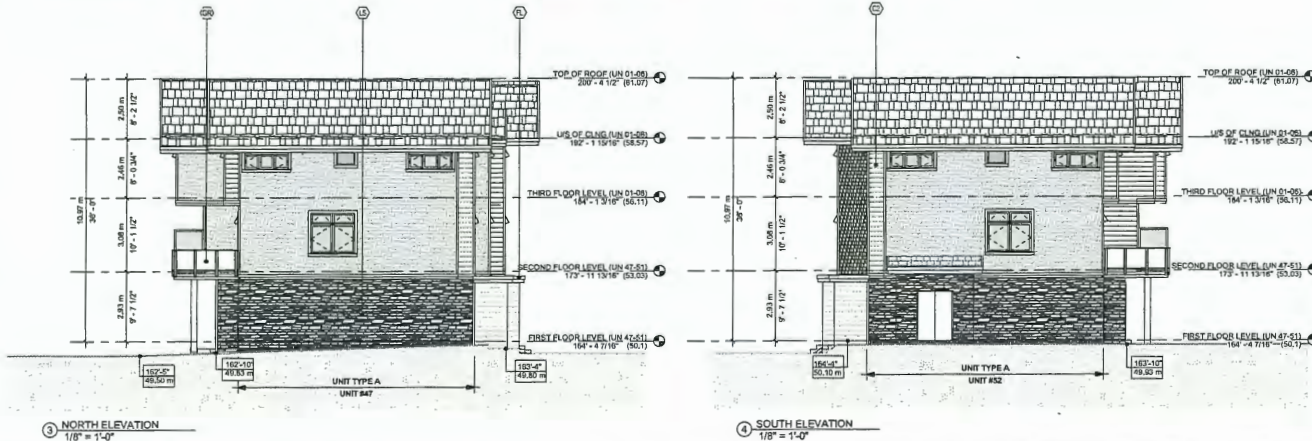
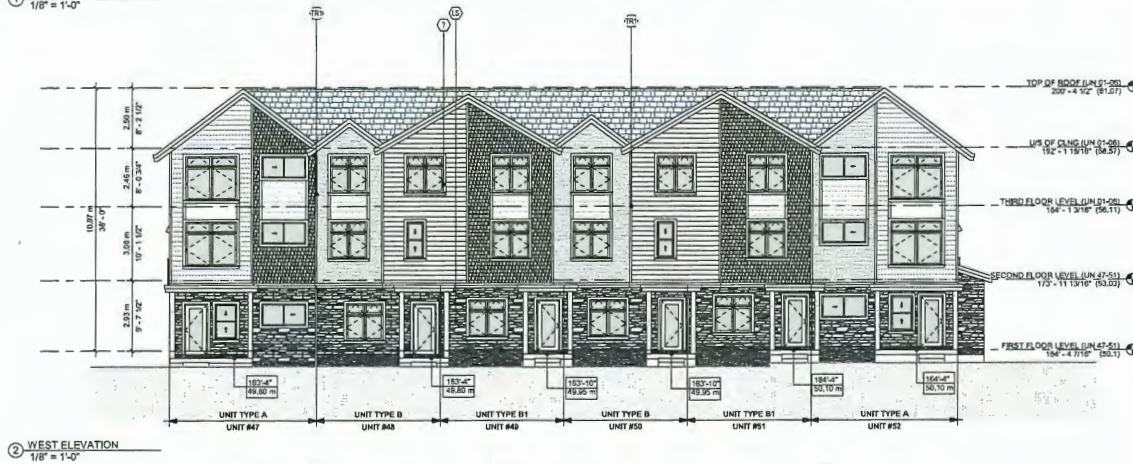
BUILDING-06 ELEVATIONS

DP SUBMISSION

PROJECT NO. 722057	PLOT DATE 18-08-2023	DRAWN VS
	SCALE As indicated	REVIEWED CY
DRAWING NO. ADP-5.61		REVISION 4

MATERIAL LEGEND :

MATERIAL	COLOR	
AS ASPHALT SHINGLES	DARK GREY	
FL FLASHING	WHITE	
FA FASCIA	WHITE	
GR GUARD/RAILING	BLACK	
WS HARDI WALL SHINGLES	HIGH REFLECTIVE WHITE	
WS HARDI WALL SHINGLES	GREEN/BLACK	
CS 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
CS 8" HARDI SIDING	CASTLEGATE	
LS LEDGE STONE CLADDING	BRICK DARK	
TR TRIM	GREY	
TR TRIM	WHITE	
D DOORS	BLACK	
W WINDOWS	BLACK/WHITE	
RD ROLL-UP DOOR	GREY	
RD ROLL-UP DOOR	GREY	
CO COLUMNS	GREY	



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PROJECT

23638 TOWNHOUSES

23638 DEWYOND TRUNK RD, MAPLE RIDGE, B.C. CANADA

DRAWING TITLE

BUILDING-09 ELEVATIONS

DRAWING ISSUE

DP SUBMISSION

PROJECT NO. 722057

PLOT DATE 18-08-2023

SCALE As indicated

DESIGNER KT

REVIEWER VV

DRAWING NO. ADP-5.91

4

MATERIAL LEGEND :

MATERIAL	COLOR	
AS ASPHALT SHINGLES	DARK GREY	
FL FLASHING	WHITE	
FA FASCIA	WHITE	
GR GUARDRAILING	BLACK	
LS LEDGE STONE CLADDING	BRICK DARK	
C1 4" HARDI SIDING	CASTLEGATE	
C2 4" HARDI SIDING	COUNTRYLANE RED	
TR TRIM	GREY	
D DOORS	BLACK	
W WINDOWS	BLACK	
CS COLUMNS	GREY	
HP HARDI PLANK	GREY	

1 2023 APR 17 ISSUED FOR ADP SUBMISSION
2 2023 NOV 28 ISSUED FOR DP SUBMISSION
3 2023 SEP 27 ISSUED FOR DP SUBMISSION
4 2023 JAN 16 PRELIMINARY DESIGN LAYOUT
REV. 1 2023 APR 17 2023 APR 17 2023 APR 17 2023 APR 17
CONSULTANT

PROJECT SHEET

SCALE



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PROJECT

23638 TOWNHOUSES

23638 DEWIDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

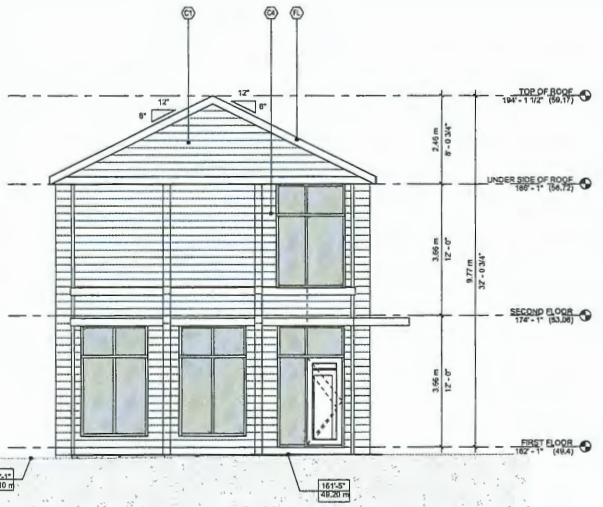
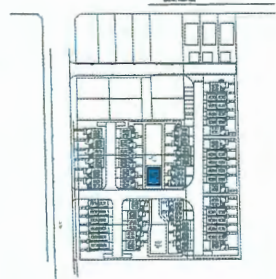
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AMENITY BUILDING
ELEVATIONS

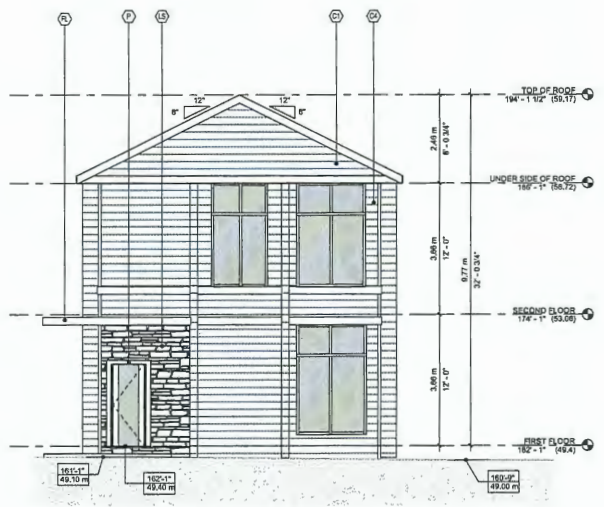
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DP SUBMISSION

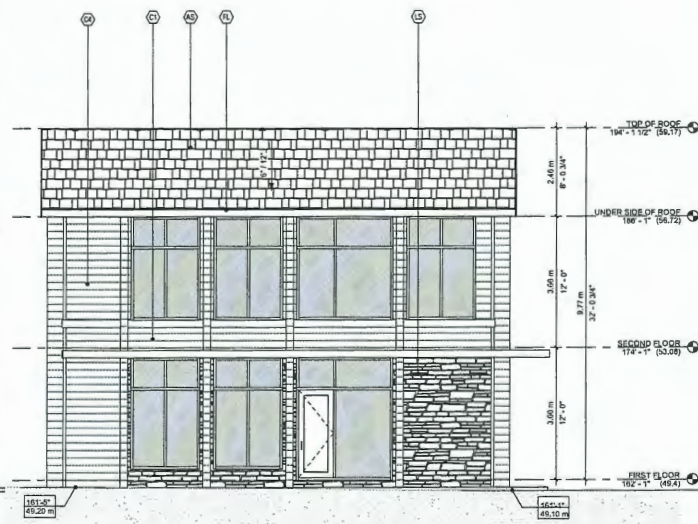
PROJECT NO.	722057	PLOT DATE	19-08-2023	DRAWN	KT
DRAWING NO.	ADP-5.101	SCALE	As Indicated	REVIEWED	SZ
				REVISION	4



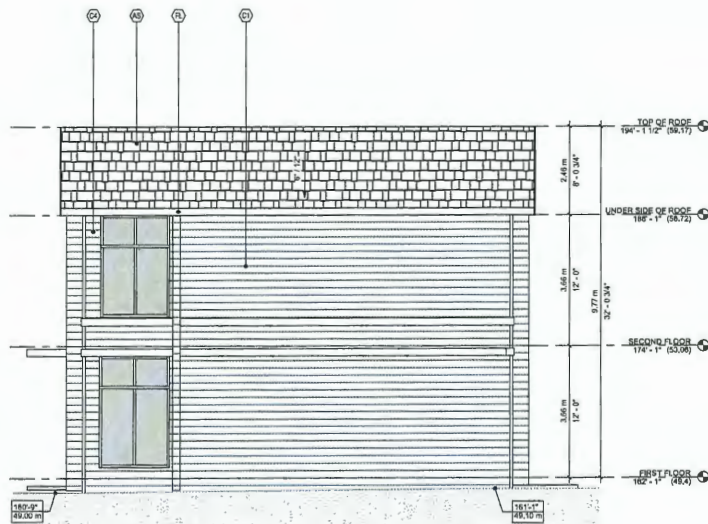
1 NORTH ELEVATION
ADP-5.101 3/16" = 1'-0"



2 SOUTH ELEVATION
ADP-5.101 3/16" = 1'-0"



3 WEST ELEVATION
ADP-5.101 3/16" = 1'-0"



4 EAST ELEVATION
ADP-5.101 3/16" = 1'-0"



① EAST COLORED ELEVATION
1/8" = 1'-0"



② WEST COLORED ELEVATION
1/8" = 1'-0"



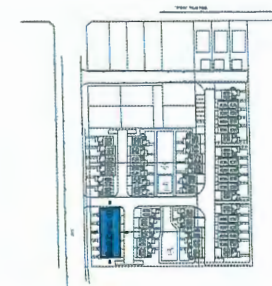
③ NORTH COLORED ELEVATION
1/8" = 1'-0"



④ SOUTH COLORED ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
AS ASPHALT SHINGLES	DARK GREY	
FL FLASHING	WHITE	
FA FASCIA	WHITE	
GR GUARDRAILING	BLACK	
HS1 HARDI WALL SHINGLES	GREY	
HS2 HARDI WALL SHINGLES	GREENBLACK	
CS 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
LS LEDGE STONE CLADDING	BRICK DARK	
TR1 TRIM	GREY	
TR2 TRIM	WHITE	
D DOORS	BLACK	
W WINDOWS	BLACK/WHITE	
RD ROLL-UP DOOR	GREY	
C COLUMNS	GREY	



kasian

Kasian Architecture
Interior Design
and Planning Ltd

1502 West Georgia Street, Suite 1005
Vancouver, BC Canada V6G 2S8
T: 604.682.4146 F: 604.682.2007
www.kasian.com

4. DESIGN TEAM TO BE SUBMITTED FOR ALL SUBMISSIONS
5. FINAL COPY OF DRAWINGS FOR ALL SUBMISSIONS
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100. FINAL COPY OF DRAWINGS FOR ALL SUBMISSIONS

CONTRACT



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PROJECT

23638 TOWNHOUSES
23638 DEWONEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

BUILDING-01 COLORED ELEVATIONS

DRAWING DATE

DP SUBMISSION

PROJECT NO.

722067

DATE

19-08-2023

SCALE

As indicated

REVISION

ADP-6.11

4



① EAST COLORED ELEVATION
1/8" = 1'-0"



② WEST COLORED ELEVATION
1/8" = 1'-0"



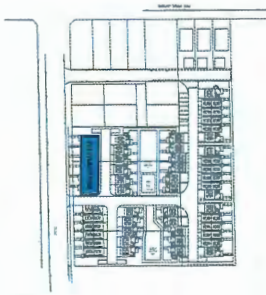
③ SOUTH COLORED ELEVATION
1/8" = 1'-0"



④ NORTH COLORED ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
ASPHALT SHINGLES	DARK GREY	
FLASHING	WHITE	
FASCIA	WHITE	
GUARD/RAILING	BLACK	
HARDI WALL SHINGLES	CASTLEGATE	
HARDI WALL SHINGLES	GREENBLACK	
8" HARDI SIDING	GREENBLACK	
8" HARDI SIDING	HIGH REFLECTIVE WHITE	
8" HARDI SIDING	CASTLEGATE	
LEDGE STONE CLADDING	BRICK DARK	
TRIM	GREY	
TRIM	WHITE	
DOORS	BLACK	
WINDOWS	BLACK / WHITE	
ROLL-UP DOOR	GREY	
COLUMNS	GREY	



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PROJECT
23638 TOWNHOUSES
23638 DEWDNEY TRUNK RD, MAPLE RIDGE, B.C. CANADA

DRAWING TITLE
BUILDING-02 COLORED ELEVATION

DRAWING CODE
DP SUBMISSION

PROJECT NO.	722057	PLOT DATE	18-08-2023	DRAWN	KT
SCALE	As Indicated	REVIEWED	SZ		
DRAWING NO.	ADP-6.21	REVISION	4		



① EAST COLORED ELEVATION
1/8" = 1'-0"



② WEST COLORED ELEVATION
1/8" = 1'-0"



③ SOUTH COLORED ELEVATION
1/8" = 1'-0"



④ NORTH COLORED ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
AS ASPHALT SHINGLES	DARK GREY	
FL FLASHING	WHITE	
FA FASCIA	WHITE	
GR GUARDRAILING	BLACK	
HS HARDI WALL SHINGLES	CASTLEGATE	
CS 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
CS 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
LS LEDGE STONE CLADDING	BRICK DARK	
TR TRIM	GREY	
TR TRIM	WHITE	
DO DOORS	BLACK	
W WINDOWS	BLACK / WHITE	
RD ROLL-UP DOOR	GREY	
CO COLUMNS	GREY	



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T 604 682 4144 F 604 682 3827
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4	2023 APR 17	ISSUED FOR ADP SUBMISSION
3	2022 NOV 20	ISSUED FOR DP SUBMISSION
2	2022 SEP 27	ISSUED FOR DP SUBMISSION
1	2022 JAN 10	FINAL, INTERIM DESIGN LAYOUT
REV.	DATE	REVISION
CONSOLE	DATE	REVISION

PERMIT STAMP

SEALED



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PROJECT

23638 TOWNHOUSES

23638, DEWDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

BUILDING-04 COLORED
ELEVATION

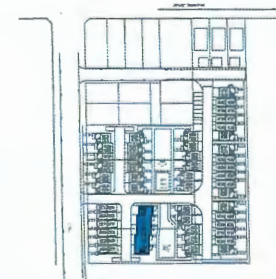
DRAWING ISSUE

DP SUBMISSION

PROJECT NO.	18-08-2023	DATE	KT
722057	SCALE	As indicated	REVIEWED
DRAWING NO.			SZ
			REVISION

ADP-6.41

4





① EAST COLORED ELEVATION
1/8" = 1'-0"



② WEST COLORED ELEVATION
1/8" = 1'-0"



③ NORTH COLORED ELEVATION
1/8" = 1'-0"



④ SOUTH COLORED ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(AS) ASPHALT SHINGLES	DARK GREY	
(FL) FLASHING	WHITE	
(FA) FASCIA	WHITE	
(GR) GUARD/RAILING	BLACK	
(WS) HARDI WALL SHINGLES	CASTLEGATE	
(WB) HARDI WALL SHINGLES	GREENBLACK	
(CS) 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
(LS) LEDGE STONE CLADDING	BRICK DARK	
(TR) TRIM	GREY	
(TW) TRIM	WHITE	
(D) DOORS	BLACK	
(W) WINDOWS	BLACK/WHITE	
(RD) ROLL-UP DOOR	GREY	
(CD) COLUMNS	GREY	



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1802 West Georgia Street, Suite 1000
Vancouver, BC Canada V6G 2G9
T 604 682 4142 F 604 682 7027
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4. 2021 APR 17 SUBMITTED FOR ADP SUBMISSION
5. 2021 APR 27 SUBMITTED FOR DP SUBMISSION
6. 2021 SEP 27 SUBMITTED FOR DP SUBMISSION
7. 2021 JAN 10 PRELIMINARY DESIGN LAYOUT
REV. 1/10/2021 REVISION, DRAWING ISSUE REVISION

CONSULTANT

PERMIT STAMP

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PROJECT

23638 TOWNHOUSES

23638, DEWONEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

BUILDING-06 COLORED
ELEVATION

DRAWING ISSUE

DP SUBMISSION

PROJECT NO.

722067

PLAT DATE

18-08-2023

DRAWN

VS

SCALE

As indicated

REVIEWED

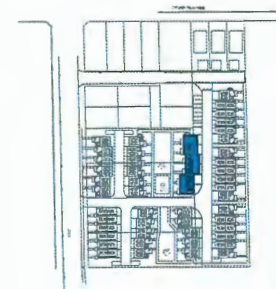
CY

DRAWING NO.

ADP-6.61

REVISION

4





① EAST COLORED ELEVATION
1/8" = 1'-0"



② WEST COLORED ELEVATION
1/8" = 1'-0"



③ NORTH COLORED ELEVATION
1/8" = 1'-0"



④ SOUTH COLORED ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
ASPHALT SHINGLES	DARK GREY	
FLASHING	WHITE	
FASCIA	WHITE	
GUARD/RAILING	BLACK	
HARDI WALL SHINGLES	HIGH REFLECTIVE WHITE	
HARDI WALL SHINGLES	GREEN/BLACK	
8" HARDI SIDING	HIGH REFLECTIVE WHITE	
8" HARDI SIDING	CASTLEGATE	
LEDGE STONE CLADDING	BRICK DARK	
TRIM	GREY	
TRIM	WHITE	
DOORS	BLACK	
WINDOWS	BLACK/WHITE	
ROLL-UP DOOR	GREY	
ROLL-UP DOOR	GREY	
COLUMNS	GREY	

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1501 West George Street, Suite 1000
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Tel: 604 682-4148 Fax: 604 682-1027
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4 2023 APR 17 ISSUED FOR ADP SUBMISSION
3 2023 APR 17 ISSUED FOR SUBMISSION
2 2023 APR 17 ISSUED FOR SUBMISSION
1 2023 JAN 17 PRELIMINARY DESIGN LAYOUT
REV: 1/17/2023 INTERIOR DESIGN ISSUE REVIEW
CONSULTANT

FORMS SHAP

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PROJECT

23638 TOWNHOUSES

23638 DEWONEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

BUILDING-09 COLORED
ELEVATIONS

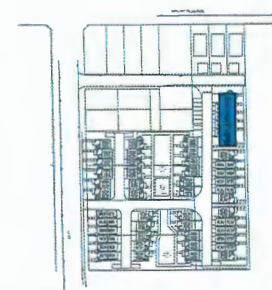
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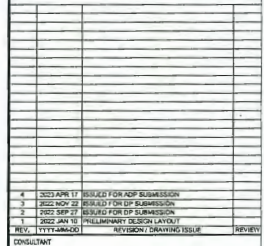
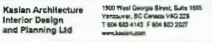
DP SUBMISSION

PROJECT NO.	722057	PLOT DATE	18-08-2023	DRAWN BY	KT
DRAWING NO.		SCALE	As indicated	REVIEWED BY	VV

ADP-6.91

4





PRINT STAMP



PROJECT

23638 TOWNHOUSES

23638, DEWDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

STREET SCAPE VIEW

DP SUBMISSION

PROJECT NO. 722067	PLLOT DATE 18-08-2023	DRAWN VS
SCALE 3/32" = 1'-0"	REVIEWED CY	
DRAWING NO. ADP-4.03		REVISION 4



1 COLORED NORTH ELEVATION
ADP-6.104 3/16" = 1'-0"



2 COLORED SOUTH ELEVATION
ADP-6.104 3/16" = 1'-0"



3 COLORED WEST ELEVATION
ADP-6.104 3/16" = 1'-0"



4 COLORED EAST ELEVATION
ADP-6.104 3/16" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
AS ASPHALT SHINGLES	DARK GREY	
FL FLASHING	WHITE	
FA FASCIA	WHITE	
GR GUARD/RAILING	BLACK	
LS LEDGE STONE CLADDING	BRICK DARK	
CT 4" HARDI SIDING	CASTLEGATE	
CA 4" HARDI SIDING	COUNTRYLANE RED	
TR TRIM	GREY	
DO DOORS	BLACK	
W WINDOWS	BLACK	
CO COLUMNS	GREY	
HP HARDI PLANK	GREY	

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1500 West George Street, Suite 1008
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T 604 683 4142 F 604 683 5227
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4: 2023 APR 17: ISSUED FOR ADP SUBMISSION
3: 2023 APR 17: ISSUED FOR DP SUBMISSION
2: 2023 APR 17: ISSUED FOR DP SUBMISSION
1: 2023 APR 17: PRELIMINARY DESIGN LAYOUT
REV: 1: 2023 APR 17: PRELIMINARY DESIGN LAYOUT

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PROJECT

23638 TOWNHOUSES
23638 DEWIDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

AMENITY BUILDING
COLORED
ELEVATIONS

DRAWING ISSUE

DP SUBMISSION

PROJECT NO.

722067

PROJECT DATE

18-08-2023

DRAWN BY

KT

SCALE

As indicated

REVIEWED BY

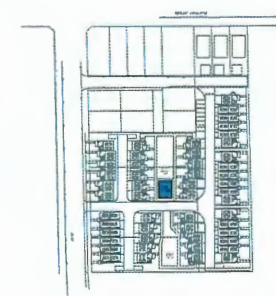
SZ

DRAWING NO.

ADP-6.101

REVISION

4



BUILDING

UNIT-

UNIT-

BUILDING 08

UNIT- B

UNIT-



① STREET SECTION 1-1 PART A
1/8" = 1'-0"

BUILDING

UNIT-

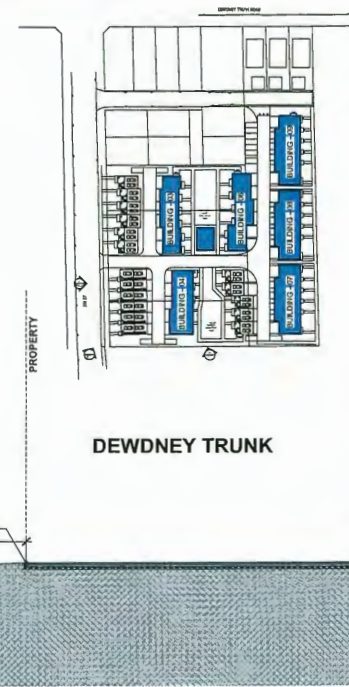
UNIT-



② STREET SECTION 1-1 - PART B
1/8" = 1'-0"

SIDE WALK
EXISTING

LOT-



DEWDNEY TRUNK

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Vancouver, BC Canada V6G 2G8
T 604 681-4140 F 604 681-2827
www.kasian.com

1. SEE NOTE 12. REQUIRED FOR DP SUBMISSION.
2. SEE NOTE 13. REQUIRED FOR DP SUBMISSION.
3. SEE NOTE 14. PRELIMINARY DESIGN LAYOUT.
4. SEE NOTE 15. PRELIMINARY DESIGN LAYOUT.

CONSULTANT

FORMS SHOWN



PROJECT

23638 TOWNHOUSES

23638 DEWDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

SITE SECTIONS

DRAWING CODE

DP SUBMISSION

PROJECT NO. 722067

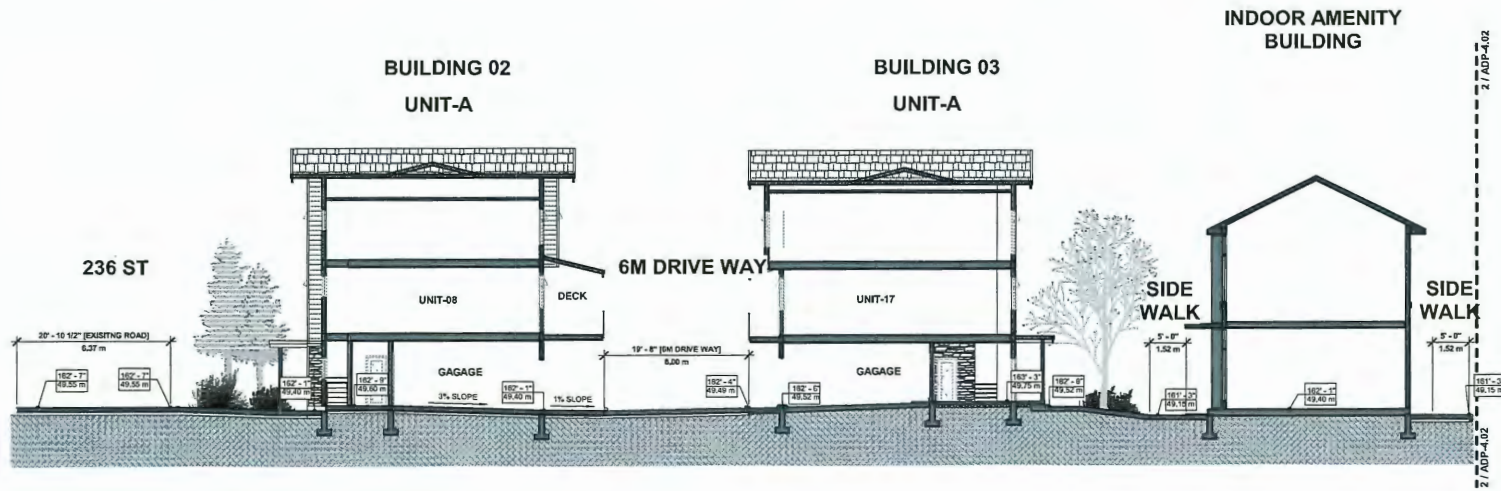
PLAT DATE 10-08-2023

SCALE 1/8" = 1'-0"

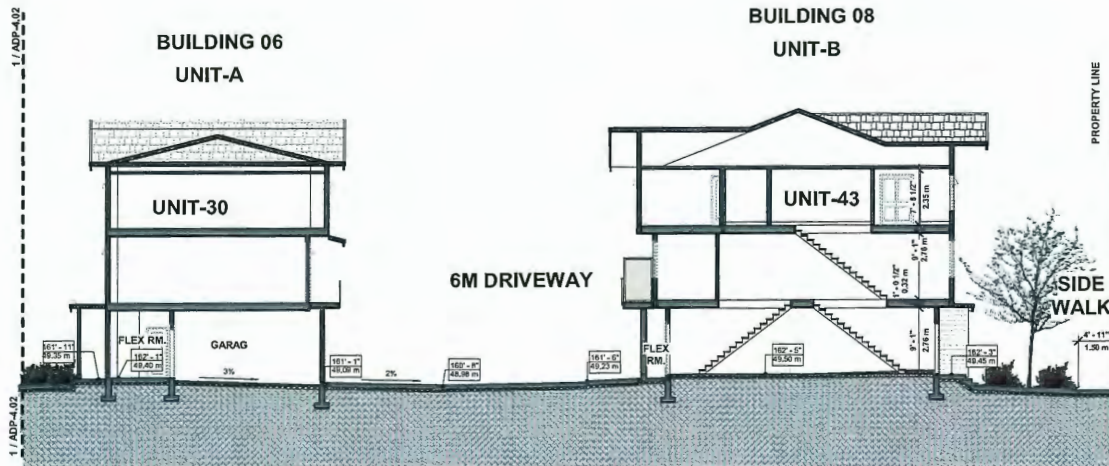
REVISION

ADP-4.01

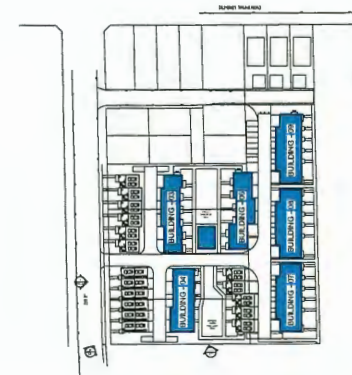
3



① STREET SECTION 2-2
1/8" = 1'-0"



② STREET SECTION 2-2 - Dependent 1
1/8" = 1'-0"



PERMIT STAMP

SEA



PROJECT

23638 TOWNHOUSES

23638 DEWDNEY TRUNK RD, MAPLE RIDGE,
B.C. CANADA

DRAWING TITLE

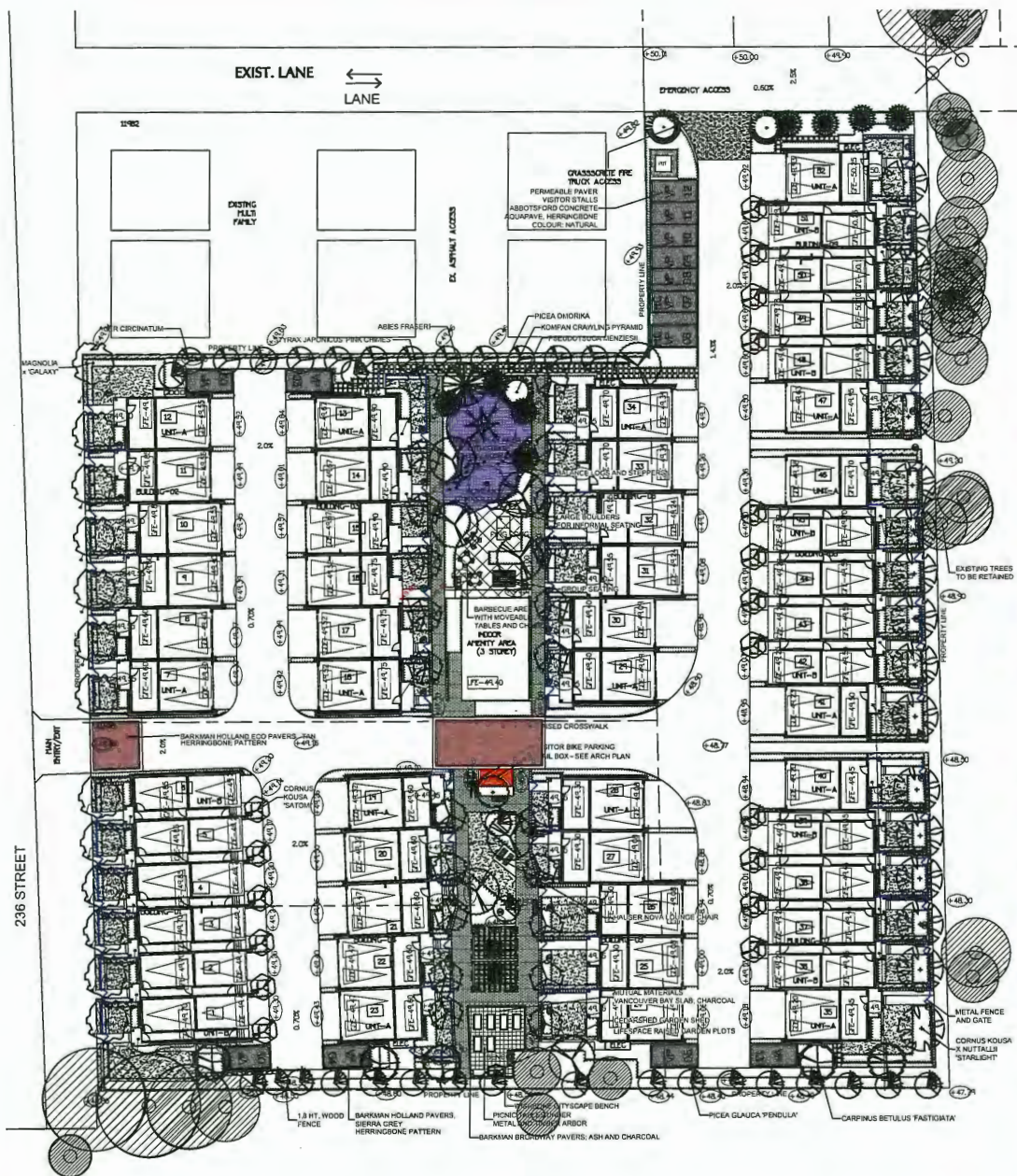
SITE SECTIONS

DRAWING SUB

DP SUBMISSION

PROJECT NO.	722057	PLOT DATE	18-08-2023	DRAWN	VS
DRAWING NO.		SCALE	1/8" = 1'-0"	REVIEWED	CY
				REVISION	3

ADP-4.02



PLANT SCHEDULE - TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE/REMARKS
TREE	1	ABIES FRASERI	FRASER FIR	3M HT, BAB
	12	ACER CIRCINATUM	VINE MAPLE	2.5M HT, BAB, 3 STEM CLUMP
	8	ACER PLATANOIDES 'CRIMSON SENTINEL'	COLUMBIAN CRIMSON SENTINEL MAPLE	8CM CAL, BAB
	1	ACER RUBRUM 'VINTAGE RED'	COLUMBIAN VINTAGE RED MAPLE	8CM CAL, 2M STD, BAB
	5	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAM	5CM CAL, BAB
	18	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	5CM CAL, 1.5M STD, BAB
	18	CORNUS KOUSA 'NUTTALLI 'STARLIGHT'	STARLIGHT HYBRID DOGWOOD	8CM CAL, 1.5M STD, BAB
	21	PICEA GLAUCA 'PENDULA'	WEeping WHITE SPRUCE	2.5M HT, BAB
	8	PICEA OCHROICA	SEASIDE SPRUCE	3M HT, BAB
	3	PSEUDOTSUGA WENDERSII	DOUGLAS FIR	3M HT, BAB
	22	STYLIAX JAPONICUS 'PINK CHERRY'	PINK FLOWERING JAPANESE SHOBELL	3CM CAL, 1.5M STD, BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLY STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIMAL REVIEW BY LANDSCAPE ARCHITECT A SOURCE OF SUPPLY, AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL, UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF PLANT MATERIAL. MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



BARKMAN HOLLAND PAVING



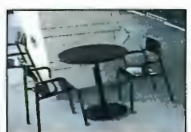
WISHBONE SURF BIKE RACK - TEXTURED SILVER



LIFESPACE HARVEST TABLE



WISHBONE LARSON PICNIC TABLE



MAGLIN FORD TABLES AND CHAIRS



KOMPAN ROBINA CRAWLING PYRAMID



KOMPAN ROBINA SPINNER PLATE



NATURE PLAY PRECEDENT MAGE



LIFESPACE GRAVEL GARDEN PLOTS



HAUSER NOVA LOUNGE CHAIR



WISHBONE CITYSCAPE BENCH

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LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL

NO.	DATE	REVISION DESCRIPTION	DR.
1	22-JUN-18	ADD REVISIONS	MM
2	22-JUN-18	ARCHITECT WPS ADDED	MM
3	22-JUN-18	PLANNING PLAN	MM
4	22-JUN-18	NEW SITE PLAN, ADD PLANTING	MC

CLIENT:

ALVAIR DEVELOPMENTS LTD

PROJECT:

52 UNIT TOWNHOUSE
DEVELOPMENT

23538 DEWDNEY TRUNK ROAD
MAPLE RIDGE

DRAWING TITLE:

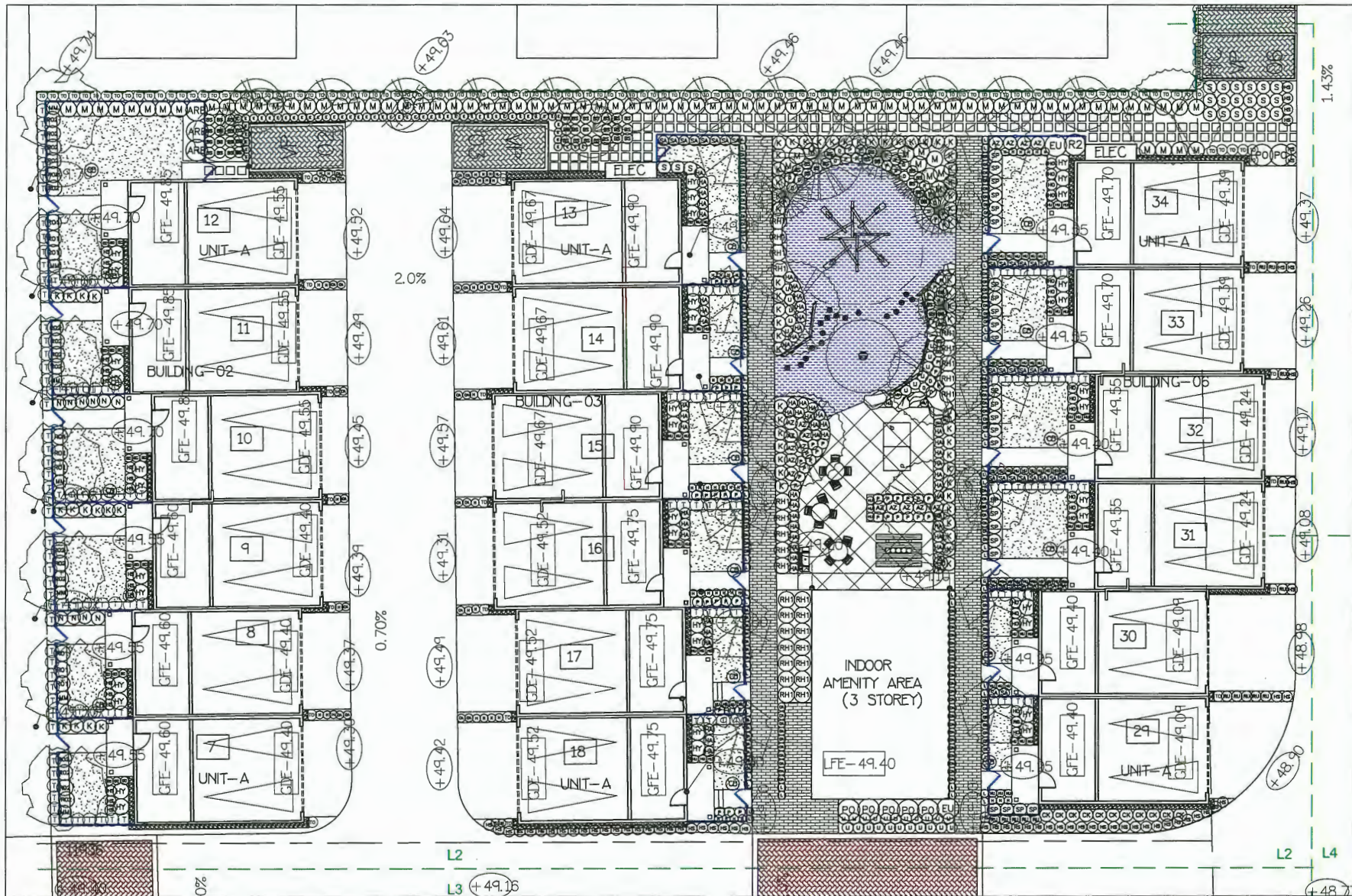
LANDSCAPE
PLAN

DATE: 22-JUL-13
SCALE: 1:250
DRAWN: MC
DESIGN: MC
CHKD: MCY

PMG PROJECT NUMBER:

22139-4.DWG

APPENDIX E



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Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 f: 604 294-0022

SEAL:

1	23 JUN 18	ADP REVISION	
2	23 JUN 18	ADP REVISION	
3	23 JUN 18	ADP REVISION	
4	23 JUN 18	ADP REVISION	
5	23 JUN 18	ADP REVISION	
6	23 JUN 18	ADP REVISION	
7	23 JUN 18	ADP REVISION	
8	23 JUN 18	ADP REVISION	
9	23 JUN 18	ADP REVISION	
10	23 JUN 18	ADP REVISION	
11	23 JUN 18	ADP REVISION	
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13	23 JUN 18	ADP REVISION	
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15	23 JUN 18	ADP REVISION	
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51	23 JUN 18	ADP REVISION	
52	23 JUN 18	ADP REVISION	

CLIENT:

ALVAIR DEVELOPMENTS LTD

PROJECT:

52 UNIT TOWNHOUSE
DEVELOPMENT

23638 DEWDNEY TRUNK ROAD
MAPLE RIDGE

DRAWING TITLE:

PLANTING
PLAN

DATE: 22 SEP 13

SCALE: 1:250

DRAWN: MC

DESIGN: MC

CHKD: MCY

DRAWING NUMBER

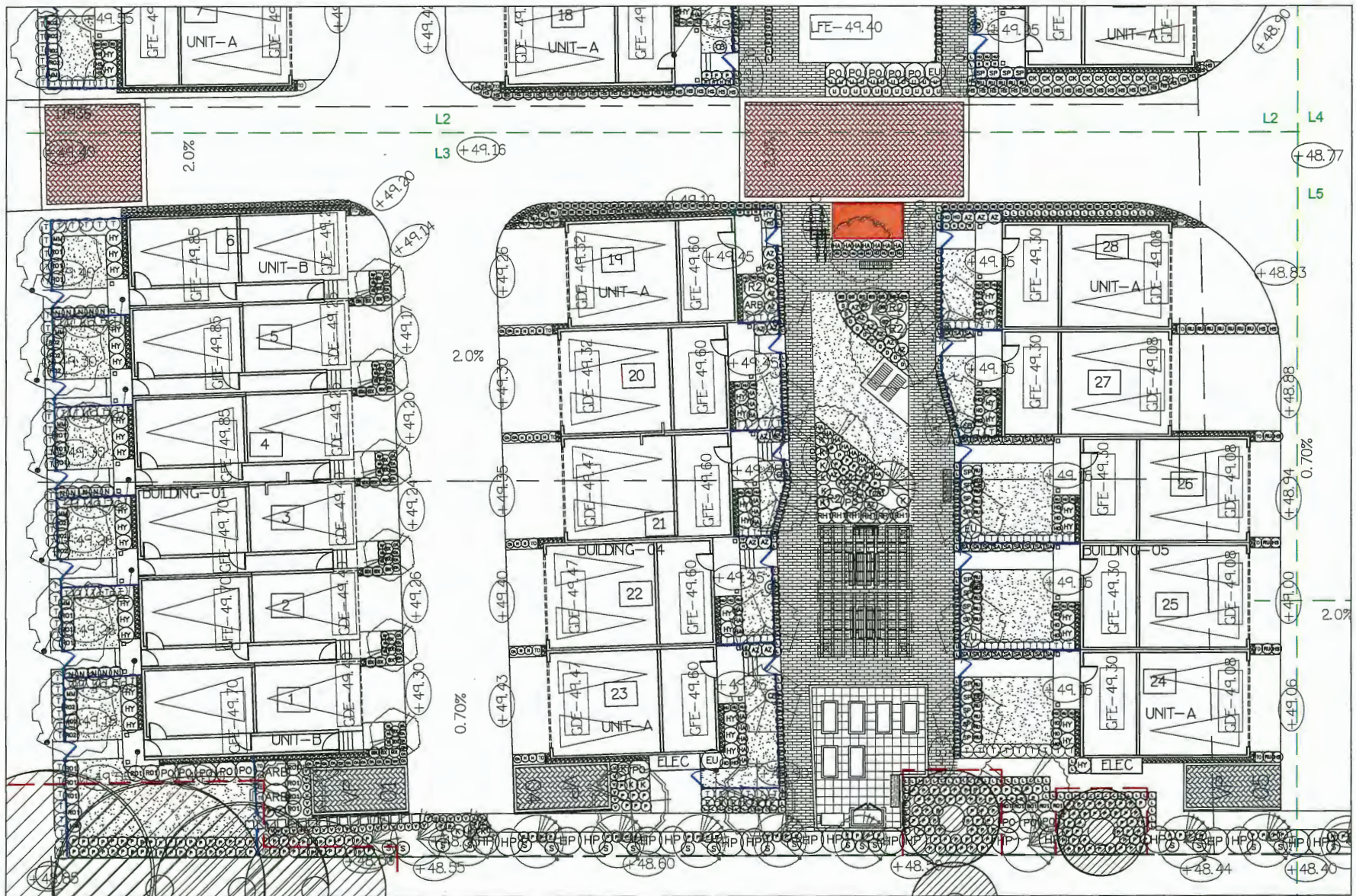
L2

OF 9

22139-4.DP

PMG PROJECT NUMBER:

22-139



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ARCHITECTS

Suite C100 - 4185 Salt Creek Drive
Burnaby, British Columbia, V5C 6G8
p: 604 294-0111 ; f: 604 294-0222

SEAL:

NO.	DATE	REVISION DESCRIPTION	DIR.
1	23.09.13	ALP DEVELOPMENT	
2	23.09.13	ARCHITECT INFO ADDED	MM
3	23.09.13	PLANTING PLAN	MM
4	23.09.13	NEW SET PLAN, ADD PLANTING	MC

CLIENT:

ALVAIR DEVELOPMENTS LTD

PROJECT:

52 UNIT TOWNHOUSE
DEVELOPMENT

23638 DEWDNEY TRUNK ROAD
MAPLE RIDGE

DRAWING TITLE:

PLANTING
PLAN

DATE: 23.09.13

SCALE: 1:100

DRAWN: MC

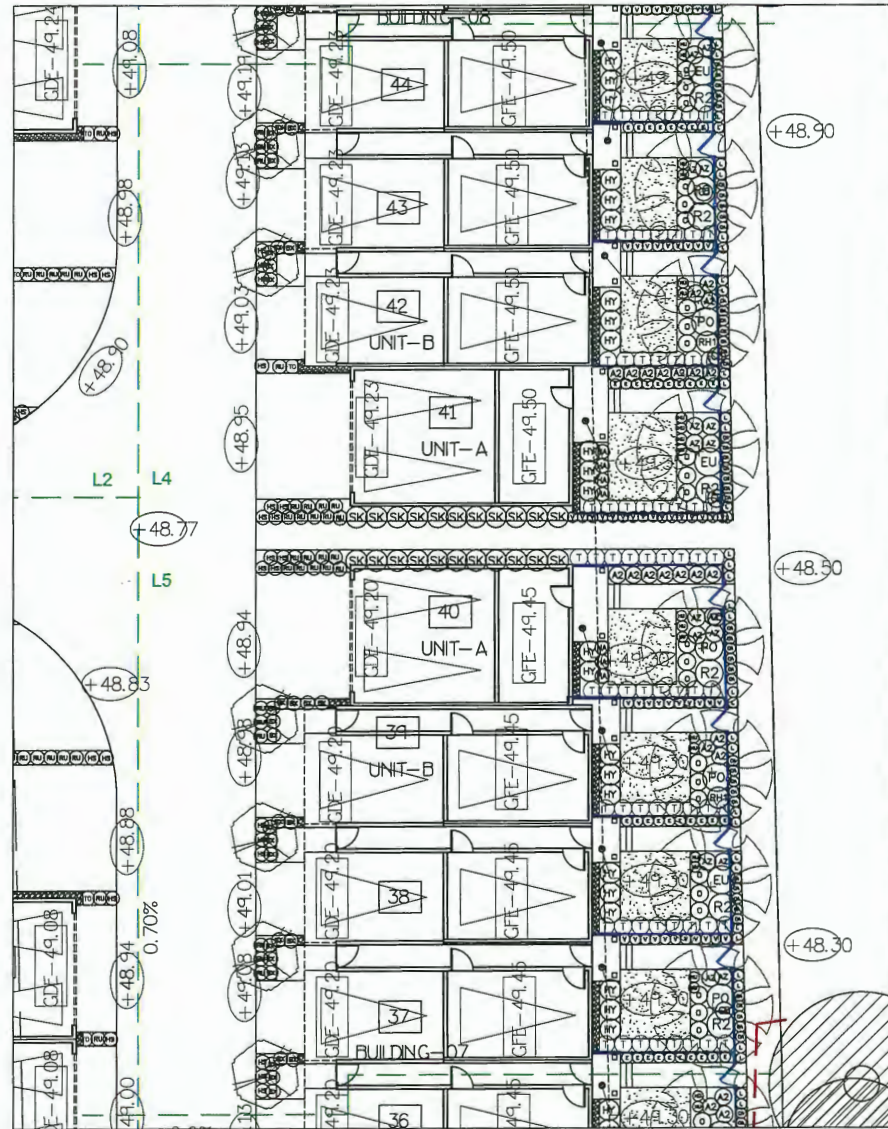
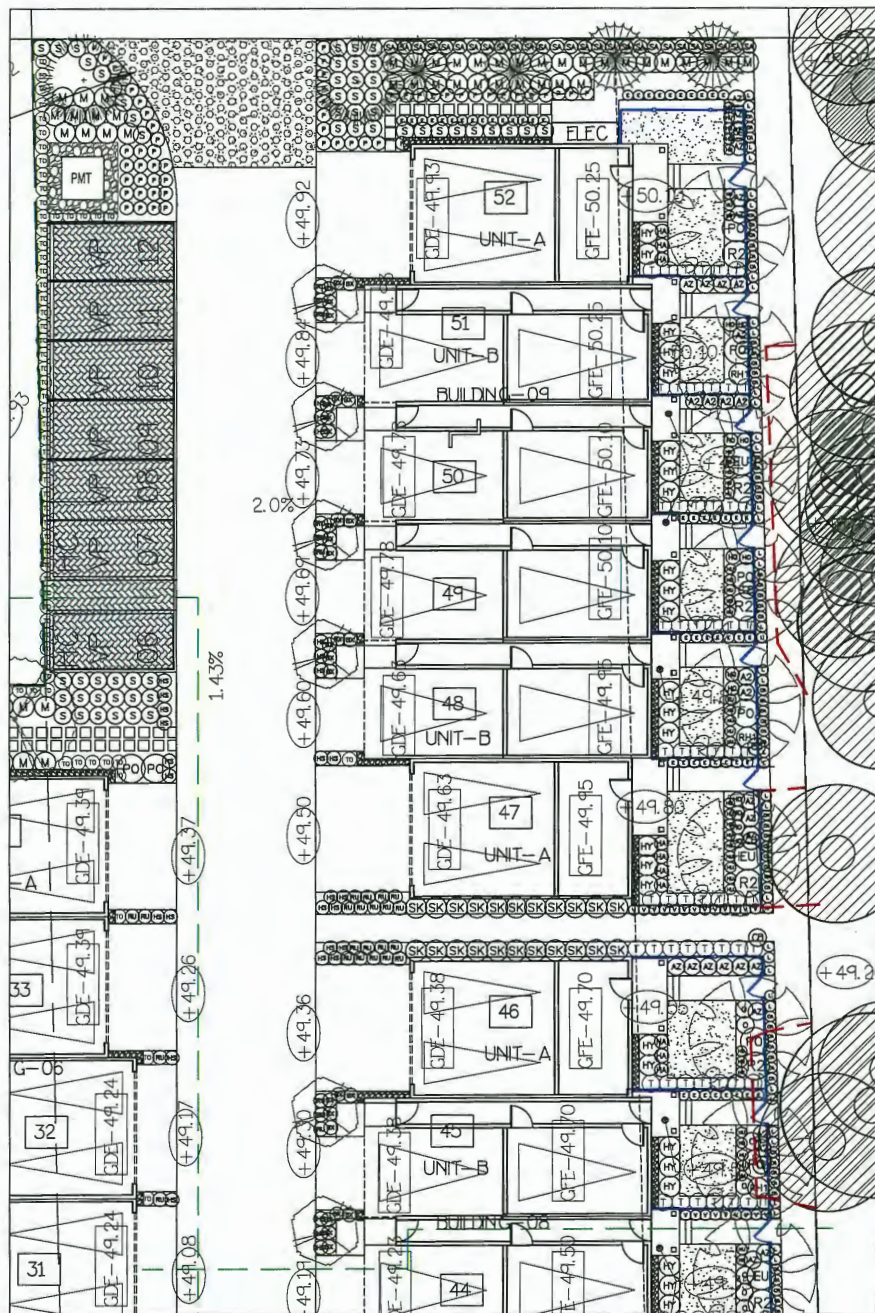
DESIGN: MC

CHKD: MCY

L3

OF 3

PMG PROJECT NUMBER: 22-139



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p: 604 294-0011 ; f: 604 294-0022

SEAL:

1	23-SEP-13	ASAP PRELIMINARY	100%
2	23-SEP-13	ARCHITECT INFO ADDED	100%
3	23-SEP-13	PLANTING PLAN	100%
4	23-SEP-13	NEW SITE PLAN, ASAP PLANTING	100%

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

ALVAIR DEVELOPMENTS LTD

PROJECT:

52 UNIT TOWNHOUSE
DEVELOPMENT

23638 DEWDNEY TRUNK ROAD
MAPLE RIDGE

DRAWING TITLE:

PLANTING
PLAN

DATE: 23-SEP-13 DRAWING NUMBER:

SCALE: 1:100

DRAWN: MC

DESIGN: MC

CHKD: MCY

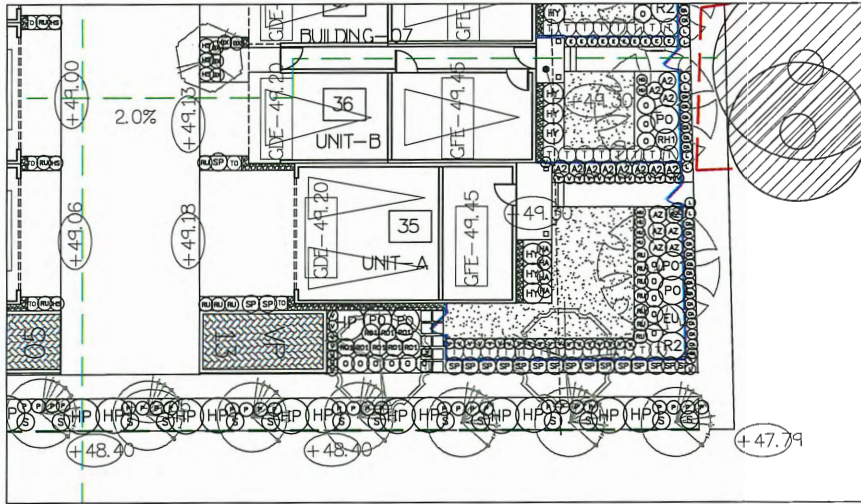
PMG PROJECT NUMBER:

L4

OF 9

22-139-4.23P

22-139



KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	8	ARBUTUS UNEDO COMPACTA	COMPACT STRAWBERRY BUSH	#7 POT, 1.25M
	80	AZALEA JAPONICA 'HINO CRIMSON'	AZALEA HARDY RED	#2 POT, 25CM
	40	AZALEA JAPONICA 'PURPLE SPLENDOR'	AZALEA RED-VIOLET	#2 POT, 25CM
	82	BURUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#2 POT, 25CM
	11	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#3 POT, 80CM
	11	EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT, 50CM
	128	HYDRANGEA LITTLE LIME	LITTLE LIME HYDRANGEA	#3 POT, 80CM
	30	HYDRANGEA PANICULATA 'YIM'S RED'	FIRE & ICE HYDRANGEA	#3 POT, 50CM
	87	KALMA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT, 50CM
	123	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3 POT, 50CM
	25	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	#2 POT, 40CM
	33	PRUNUS LAUROCEARUS	CHERRY LAUREL	#7 POT, 1.0M
	17	RHOODODENDRON 'ANAH KRUSCHKE'	RHOODODENDRON, BLUE	#3 POT, 50CM
	40	RHOODODENDRON 'HOTEL'	RHOODODENDRON, CANARY YELLOW	#2 POT, 30CM
	41	ROSA MEDICLAND 'BONICA'	MEDICLAND ROSE, PINK	#2 POT, 40CM
	20	ROSA MEDICLAND 'RED'	MEDICLAND ROSE, RED; 0.3M MATURE HT	#2 POT, 40CM
	95	SARCOCODON HOODERMANNA VAR. HUMILIS	HIMALAYAN SHEET BOX	#2 POT, 25CM
	44	SKIMMIA REVEYERIANA	DWARF SKIMMIA	#2 POT, 25CM
	88	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	#2 POT, 40CM
	56	SPIRAEA X BURWALD 'GOLDFLAME'	GOLDFLAME SPIRAEA	#3 POT, 40CM
	417	TAXUS MEDIA 'HICKSII'	HICKS' YEW	1.2M BAB
	208	THUJA OCCIDENTALE 'SMARAGO'	EMERALD GREEN CEDAR	2M HT, BAB
GRASS	302	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
	110	HAKONECHLOA MACRA 'ALBOVARIEGATA'	VARIEGATED JAPANESE FOREST GRASS	#1 POT
	124	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
	103	BURFATA CYLINDRICA 'RED BARK'	BLOOD GRASS	#1 POT
	14	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	#1 POT
	42	PENNSETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	#1 POT
PERENNIAL	18	ECHEINACEA PURPUREA 'PICCOLINO'	PURPLE CONEFLOWER - DK. PINK	15CM POT
	140	EPHEMERUM X RUIRUM	RED BARRENWORT	15CM POT
	94	HELLEBORUS X HYBRIDUS	LENTEN ROSE	15CM POT
	192	HEUCHERA 'FIRE CHIEF'	CORAL BELLS, RED	15CM POT
	51	HOSTA 'GOLD STANDARD'	HOSTA, YELLOW AND GREEN VARIEGATED	#2 POT, 1.2 EYE
	33	LIQULAPA STENOCEPHALA 'THE ROCKET'	LIQULAPA	15CM POT
	264	LIRIOPE MUSCART 'BIG BLUE'	BIG BLUE LILY-TURF	15CM POT
	114	RUDBECKIA FULGIDA VAR. SULLIVANTII 'GOLDSTURM'	RUDBECKIA, YELLOW	15CM POT
	86	SEDUM TELEPHUM 'HERBSTFREUDE'	AUTUMN JOY STONECROP	15 CM POT
	86	BLECHNUM SPICANT	DEERFEIN	#1 POT, 20CM
	23	DRYOPTERIS ERYTHROSTRODA 'BRILLIANCE'	BRILLIANCE AUTUMN FERN	#1 POT, 25CM
	106	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 25CM
	150	VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT, 30CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. * ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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Suite C100 - 4185 Gill Creek Drive
Burnaby, British Columbia V5C 6G9
p: 604-294-0011 f: 604-294-0022

SEAL:

4	22 JUN 16	A3P REVISIONS	
3	22 JUN 16	ANNOUOY INFO ADDED	WNT
2	22 JUN 16	PLANTING PLAN	WNT
1	22 NOV 15	NEW SITE PLAN AND PLANTING	MC
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

ALVAIR DEVELOPMENTS LTD

PROJECT:

52 UNIT TOWNHOUSE
DEVELOPMENT

23638 DEWDNEY TRUNK ROAD
MAPLE RIDGE

DRAWING TITLE:

PLANTING
PLAN

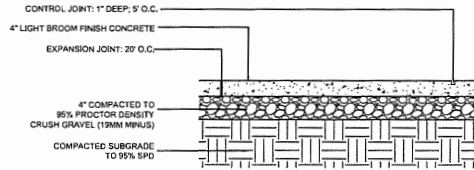
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SCALE: 1:100
DRAWN: MC
DESIGN: MC
CHKD: MCY OF 9

22139-4-DP

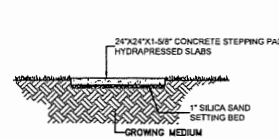
PMG PROJECT NUMBER:

22-139

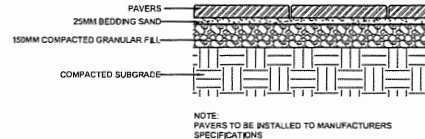




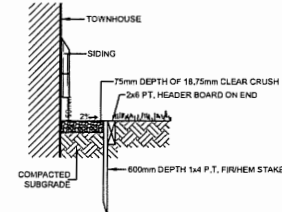
1 CONCRETE (SIDEWALK AND PAD)
1:15



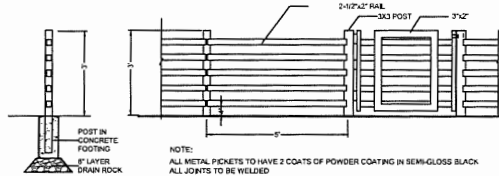
2 CONCRETE STEPPING STONE
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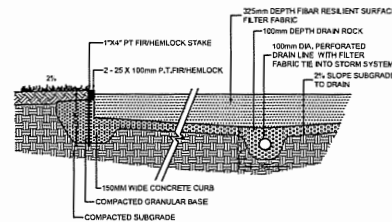
3 PAVERS ON GRADE
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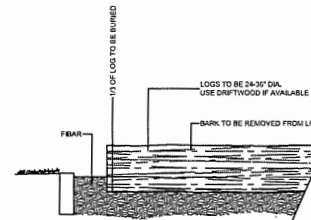
4 GRAVEL DRAIN STRIP
1:15



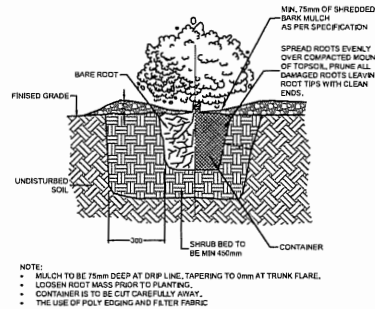
5 3' HT. METAL FENCE AND GATE DETAIL
1:25



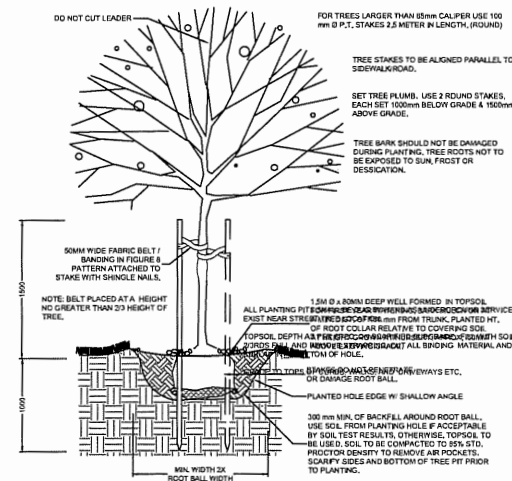
6 PLAY AREA DETAIL
1:25



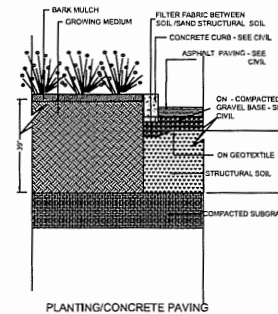
7 PLAY AREA BALANCE LOG
1:25



8 BARE ROOT/CONTAINER SHRUB PLANTING
N.T.S.

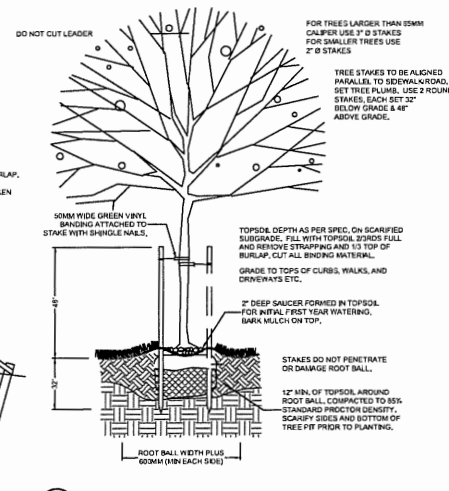
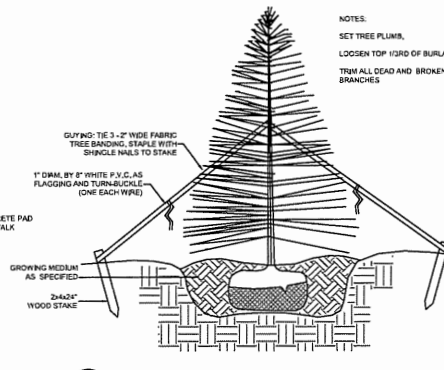
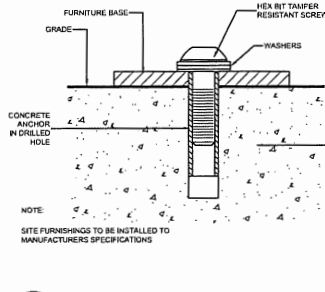
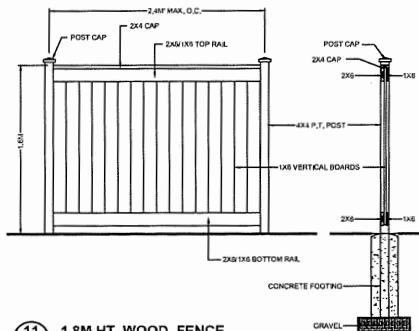


9 TYPICAL DECIDUOUS TREE DETAIL
1:25



10 STRUCTURAL SOIL
1:25

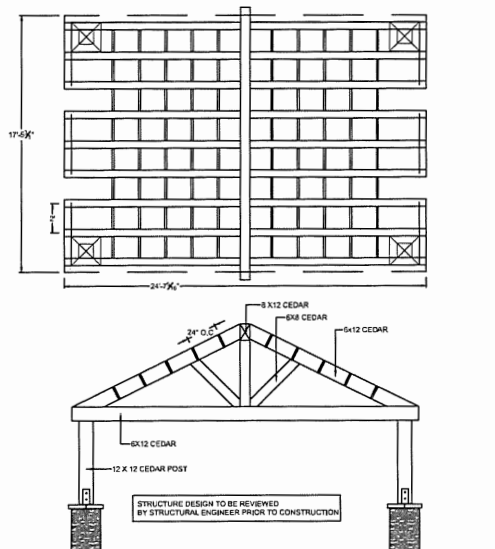
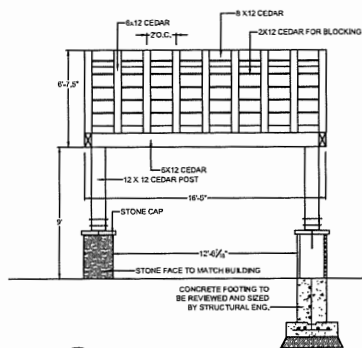
4	23.AUG.16	ADD PRELIMINARY	N/A
3	23.AUG.16	ASSISTANT INFO ADDED	N/A
2	23.AUG.16	PLANTING PLAN	N/A
1	12 NOV.15	NEW SITE PLAN, ADD PLANTING	N/A
NO.	DATE	REVISION DESCRIPTION	DR.



WOOD NOTES:

1. ALL POSTS TO BE PRESSURE TREATED TO C.S.A. STANDARDS
2. ALL WOOD TO BE NO. 2 GRADE OR BETTER
3. ALL HARDWARE TO BE HOT DIP GALVANIZED
4. APPLY TWO COATS OF STAIN TO MATCH BUILDING (TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT)
5. CONT. ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE
6. ALL FOOTINGS 3 TIMES THE WIDTH OF THE POST X 1/3 HT. OF THE POST
7. DRAWING TO BE REVIEWED BY STRUCTURAL ENGINEER

STRUCTURE DESIGN TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION



STRUCTURE DESIGN TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6C8
p: 604-294-0911 ; f: 604-294-0922

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	22.JUN.23	ADD REVISION	
2	22.JUN.26	ARCHITECT INFO ADDED	MAJ
3	23.OCT.24	REWORK PLAN	MAJ
4	22.NOV.25	NEW SITE PLAN, ADD PLANTING	MAJ

CLIENT:

ALVAIR DEVELOPMENTS LTD

PROJECT:

52 UNIT TOWNHOUSE
DEVELOPMENT

23638 DEWDNEY TRUNK ROAD
MAPLE RIDGE

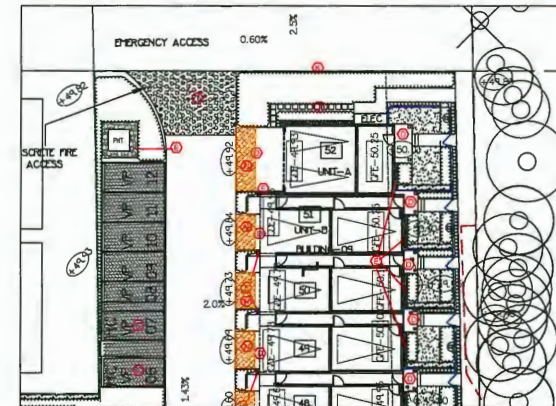
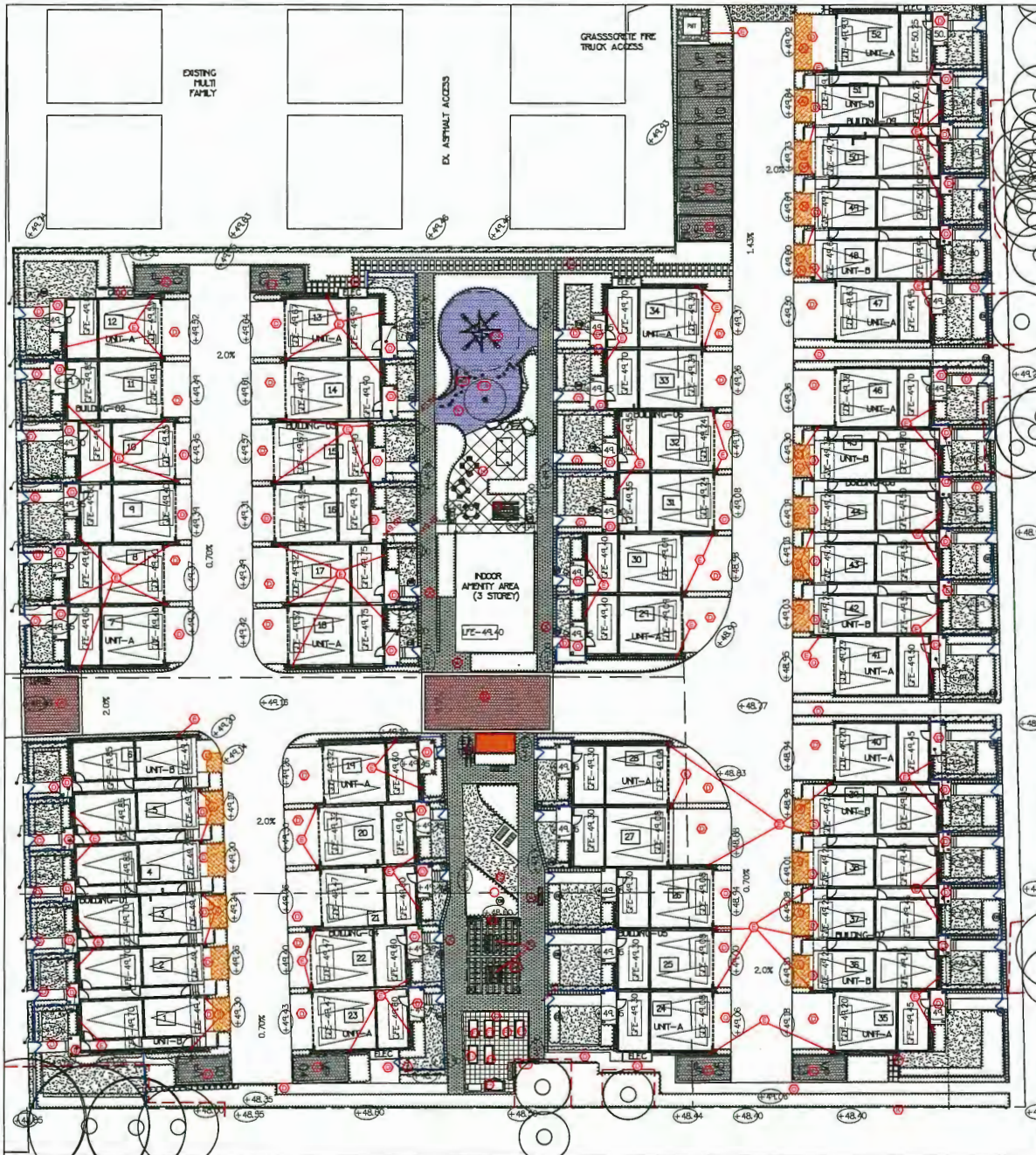
DRAWING TITLE:

LANDSCAPE
DETAILS

DATE:	22.SEP.23	DRAWING NUMBER:	
SCALE:	AS SHOWN		
DRAWN:	MC		
DESIGN:	MC		
CHKD:	MCY		

L7

OF 9



KEY	SYMBOL	DESCRIPTION
1		BARNSMAN HOLLAND PAVING, GRAPHITE, PLUNGING BOND
2		BARNSMAN HOLLAND PAVING, SIERRA GREY, HERRINGBONE PATTERN
3		BARNSMAN HOLLAND ECO PAVING, TAN, HERRINGBONE PATTERN
4		CONCRETE PAVEMENT FINISH: SAND CUT, BROOK FINISH COLOUR NATURAL
5		REVER ROCK / DRAIN STRIP
6		FIBER SAFETY SURFACE
7		SOD LAWN
8		BROOM FINISH CONCRETE - SCORED WITH 1.2M S/LC PATTERN
9		GRASS PAVE 2
10		BARNSMAN TERRACE SLAB - 610 X 610 MM
11		1.8M HT. WOOD FENCE
12		METAL FENCE AND GATE COLOUR: BLACK
13		PRIVACY SCREEN
14		2m DEPTH OF STRUCTURAL SOIL
15		INITIAL MATERIALS VANCOUVER BAY SLAB, CHARCOAL

KEY	SYMBOL	DESCRIPTION
1		WISHBONE SUN & BIK RACK
2		TEXTURED SILVER, SURFACE MOUNT
3		WISHBONE CITYSCAPE BENCH-TEXTURED SILVER
4		LIFESPACE HARVEST TABLE
5		WISHBONE LARSON PINE TABLE
6		TEXTURED SILVER, SAND SLATS, SURFACE MOUNT
7		WILSON FORD TABLE AND CHAIRS: 1100 SERIES, ROUND METAL PATTERN 1, SILVER 14 COLOUR
8		HAUSER NOVA LOUNGE CHAIR
9		LIFESPACE RAISED GARDEN PLOTS
10		CEDARSHED INDUSTRIES - BAYSIDE DOUBLE DOOR
11		OUTDOOR BBQ
12		CORNILLEAU PING PONG TABLE - 810 M CROSSOVER
13		CUSTOM TRELLIS: 1100 - 30X17 STAINED - BENJAMIN MOORE AMBROUSIA SOLID STAIN, STORMY GREY

KEY	SYMBOL	DESCRIPTION
1		WITPENS & BALANCE LOGS
2		KOMPAN SPINNER PLATE
3		KOMPAN CRAWLING PYRAMID



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Suite C100 - 4185 888 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

4	23 JUN 23	APP REVISION	
3	23 JUN 23	ANALYST INFO ADDED	NM
2	23 MAY 23	PLANTING PLAN	PM
1	23 JUN 23	REV SITE PLAN, ADD PLANTING	MC
NO.	DATE	REVISION DESCRIPTION	DRL

CLIENT:

ALVAIR DEVELOPMENTS LTD

PROJECT:

52 UNIT TOWNHOUSE DEVELOPMENT

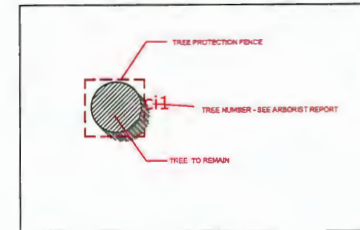
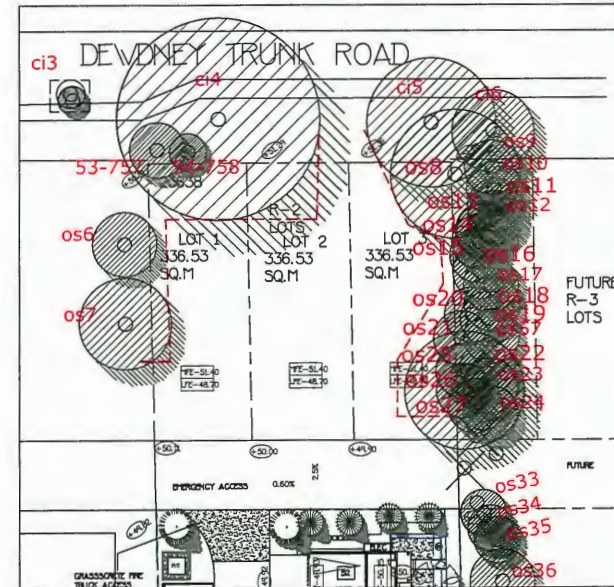
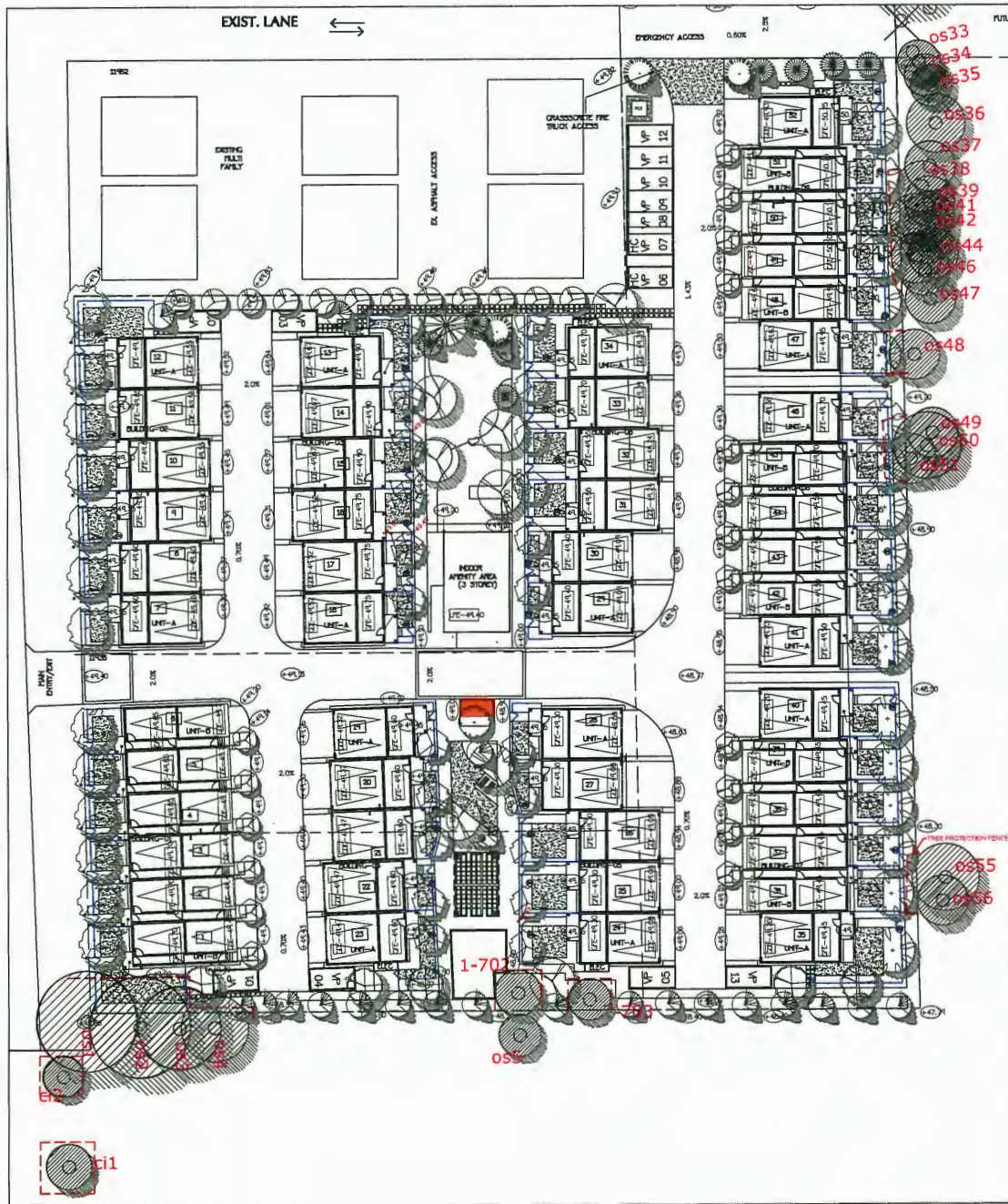
23638 DEWDNEY TRUNK ROAD
MAPLE RIDGE

DRAWING TITLE:

LANDSCAPE MATERIALS PLAN

DATE:	22 SEP 23	DRAWING NUMBER:	L8
SCALE:	1:200		
DRAWN:	MC		
DESIGN:	MC		
CHKD:	MCY		OF 9

22139-4-2P PMG PROJECT NUMBER: 22-139



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Suite C100 - 4185 58th Street, Drive
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p: 604-294-0011 f: 604-294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	23.JUN.22	ADP REVISION	MM
2	23.JUN.22	ADP REVISION	MM
3	23.JUN.22	ADP REVISION	MM
4	23.JUN.22	ADP REVISION	MM
5	23.JUN.22	ADP REVISION	MM
6	23.JUN.22	ADP REVISION	MM
7	23.JUN.22	ADP REVISION	MM
8	23.JUN.22	ADP REVISION	MM
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77	23.JUN.22	ADP REVISION	MM
78	23.JUN.22	ADP REVISION	MM
79	23.JUN.22	ADP REVISION	MM
80	23.JUN.22	ADP REVISION	MM
81	23.JUN.22	ADP REVISION	MM
82	23.JUN.22	ADP REVISION	MM
83	23.JUN.22	ADP REVISION	MM
84	23.JUN.22	ADP REVISION	MM
85	23.JUN.22	ADP REVISION	MM
86	23.JUN.22	ADP REVISION	MM
87	23.JUN.22	ADP REVISION	MM
88	23.JUN.22	ADP REVISION	MM
89	23.JUN.22	ADP REVISION	MM
90	23.JUN.22	ADP REVISION	MM
91	23.JUN.22	ADP REVISION	MM
92	23.JUN.22	ADP REVISION	MM
93	23.JUN.22	ADP REVISION	MM
94	23.JUN.22	ADP REVISION	MM
95	23.JUN.22	ADP REVISION	MM
96	23.JUN.22	ADP REVISION	MM
97	23.JUN.22	ADP REVISION	MM
98	23.JUN.22	ADP REVISION	MM
99	23.JUN.22	ADP REVISION	MM
100	23.JUN.22	ADP REVISION	MM

CLIENT:
ALVAIR DEVELOPMENTS LTD

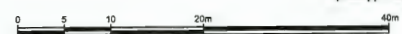
PROJECT:
**52 UNIT TOWNHOUSE
DEVELOPMENT**
**23638 DEWDNEY TRUNK ROAD
MAPLE RIDGE**

DRAWING TITLE:
**TREE MANAGEMENT
PLAN**

DATE: 22.SEP.23
SCALE: 1:250
DRAWN: MC
DESIGN: MC
CHKD: MCY

L9

OF 9





mapleridge.ca

City of Maple Ridge

Advisory Design Panel Resolutions/Comments

Application 2022-034-RZ was reviewed by the Advisory Design Panel (ADP) at the May 17, 2023 meeting. As per the ADP resolution from that meeting, the application was reviewed again by the ADP, with revised plans and the applicant's response, at the July 19, 2023. The following are the resolutions/comments:

May 17, 2023 – R/2023-ADP-016

It was moved and seconded

That the following concerns be addressed and digital versions of revised drawings & memo be submitted to Planning staff; and further the Planning staff forward this on to the Advisory Design Panel for information.

Architectural Comments:

- Consider enclosing the entry canopies (utilized as unheated entry vestibules) at tandem units to allow for less congestion at unit entrances.
- Consider the relationship between the peaked townhouse roofs and the flat entrance canopies. Ensure architectural language work congruently between each mass.
- Consider further design development for exterior cladding at the amenity space building.
- Consider reexamining unconventional massing alignment that is unbalanced and creates unevenness with the shape of the roof.
- Consider articulation of exterior composition and functionality of space inside the amenity building.
- Suggest avoiding converging roof pitches on flat valleys.
- The use of asymmetric pitch roof lines is successful. Consider introducing a similar configuration on Buildings 07, 08 & 09 for design cohesiveness.
- Buildings 01 through 06, have a pleasant colour and material façade composition that is aligned with the roof ridges and valleys. Suggest introducing a similar configuration on Buildings 07, 08 & 09
- Suggest using a more contemporary architectural language on the amenity building (i.e. flat roof) and introducing additional architectural features (i.e. accent colours, wood soffits, etc...) in order to provide differentiation from residential buildings.

Landscape Comments:

- In general, it looks like a well-designed project from a landscape perspective. Nice work with the strong central spine of amenity spaces connected by the raised paver section in the lane.
- Carry on with infiltration type stormwater management interventions, provided the Geotech investigation shows the ground will percolate.
- Consider an alternative location for the PMT to allow for a pedestrian connection towards the amenity area. Suggested North of visitor parking spaces by the Emergency Access.

CARRIED UNANIMOUSLY

July 19, 2023 – R/2023-ADP-025

It was moved and seconded

That the application meets recommendations as presented and the applicant proceed to Council.

CARRIED UNANIMOUSLY

KASIAN
ARCHITECTURE
INTERIOR
DESIGN AND
PLANNING LTD
1500 West Georgia Street
Suite 1685
Vancouver
British Columbia
Canada
V6G 2Z6
t 604 683 4145
f 604 683 2827
www.kasian.com

DON W. KASIAN
Architect AIBC, Architect AAA, MAA, NLAA,
NSAA, NWTAA, OAA, SAA, FRAIC, Hon.
FAIA, BES, MArch

DEAN BENVENUTO
Architect AAA, BArch, LEED AP BD + C

AZIZ BOOTWALA
Architect AIBC, Architect AAA, MAA, NWTAA,
SAA, FRAIC, LEED AP, MBA

WOJCIECH BRUS
Architect AIBC, NWTAA, FRAIC, MArch

SUZANNE CAMPBELL
ARIDO, LEED AP, IDC

BILL CHOMIK
Architect AIBC, Architect AAA, OAA, SAA,
FRAIC, Hon. FAIA, RCA, BA, BArch

WILL CRAIG
Architect AIBC, Architect AAA,
RIBA Part II

SANJA DJULEPA
LEED AP BD+C, TSA, MRAIC, MArch

W. SCOTT DOUGLAS
Architect AIBC, Architect AAA, MAA, BArch,
BSc

CRYSTAL GRAHAM
Licensed Interior Designer AAA, ARIDO, RID,
IDC, IIDA, LEED AP

KIM GREEN
DID

ABHISHEK GUPTA
BArch, MBEM, LEED AP

DANIEL HAWRELUK
MArch, MComm, BA, AIBC, RAIC

DOUG JOHNSON
BSc, BArch, Sloan Fellow, MAIBC

JUDITH MACDOUGALL
Architect AAA, LEED AP BD + C,
MArch

DEAN MATSUMOTO
AOCA

SALLY MILLS
AID, RID

ALAN NAKASKA
Architect AIBC, Architect AAA,
BArch, BSc

DOUGLAS NIWA
BID

SCOTT NORWOOD
MAATD, Dip. Arch. Tech

GOLNAZ RAKHSHAN
Architect AIBC, Architect NSAA, LEED AP,
MRAIC, BSArch, MArch

JAMES RICE
OAA, NSAA, MRAIC, MArch (Hons),
BAS (Hons), Dip Arch Tech

KATHERINE ROBINSON
Architect AIBC, Architect AAA, NSAA, MRAIC,
BArch

WARREN SCHMIDT
Architect AIBC, Architect AAA, MRAIC MArch
B.E.D

IAN SINCLAIR
MHA, CHE

Vancouver
Victoria
Calgary
Edmonton
Toronto
Doha



June 12, 2023

Daniel Rajasooriar
City of Maple Ridge
11995 Haney Place
Maple Ridge, BC Canada V2X 6A9

Re. 2022-034RZ 11926-236 St Maple Ridge ADP Response

Please find a point by point response to the comments received from the ADP:

Architectural Comments:

Consider enclosing the entry canopies (utilized as unheated entry vestibules) at tandem units to allow for less congestion at unit entrances.

Response: Entries have been enclosed with canopies.

Consider the relationship between the peaked townhouse roofs and the flat entrance canopies. Ensure architectural language work congruently between each mass.

Response: Complies

Consider further design development for exterior cladding at the amenity space building.

Response: Amenity building has been updated

Consider reexamining unconventional massing alignment that is unbalanced and creates unevenness with the shape of the roof.

Response: Roofs have been updated

Consider articulation of exterior composition and functionality of space inside the amenity building.

Response: Amenity building has been updated

Suggest avoiding converging roof pitches on flat valleys.

Response: Roofs have been updated

The use of asymmetric pitch roof lines is successful. Consider introducing a similar configuration on Buildings 07, 08 & 09 for design cohesiveness.

Response: BUILDING 07, 08 & 09 updated

Buildings 01 through 06, have a pleasant colour and material façade composition that is aligned with the roof ridges and valleys. Suggest introducing a similar configuration on Buildings 07, 08 & 09

Response: BUILDING 07, 08 & 09 updated

Suggest using a more contemporary architectural language on the amenity building (i.e. flat roof) and introducing additional architectural features (i.e. accent colours, wood soffits, etc...) in order to provide differentiation from residential buildings.

Response: Amenity building has been updated



Landscape Comments:

In general, it looks like a well-designed project from a landscape perspective. Nice work with the strong central spine of amenity spaces connected by the raised paver section in the lane.

Response: Noted

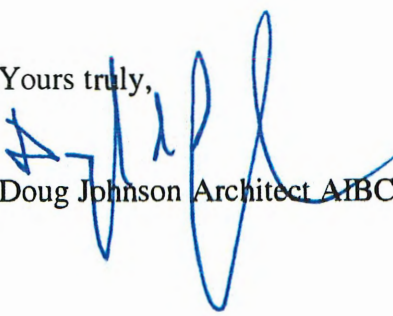
Carry on with infiltration type stormwater management interventions, provided the Geotech investigation shows the ground will percolate.

Response: Noted

Consider an alternative location for the PMT to allow for a pedestrian connection towards the amenity area. Suggested North of visitor parking spaces by the Emergency Access.

Response: Plan has been updated to show the PMT in that location

We note that we have also co-ordinated a location for the Mailboxes in accordance with comments received from Canada Post.

Yours truly,

Doug Johnson Architect AIBC

Memorandum

Date: March 17, 2023

To: Maple Ridge Planning Department – Attention Rene Tardif

Subject: Development Information Meeting Rezoning Application 2022-034-RZ

Dear Rene, we are pleased to provide this report regarding the results of the Development Information Meeting for this project that took place on March 14th, 2023. This report is being provided in accordance with the City's policy for a Development Information Meeting.

A. Mailouts, Signage and Ads

A letter was mailed out to residents surrounding the project as per City policy on February 28th. An ad was placed in the Maple Ridge news which ran in the March 3rd and March 10th print editions. A decal was placed on the sign in accordance with the City Policy. See Appendix A for copies of the letter and the ad.

B. Number of Respondents via email or calls

We confirm that a total of 2 inquiries received via email, 1 prior to the meeting date and 1 on the day of the meeting.

██████████, a member of the Seniors Co-Op located across the street from the proposed development wrote to express concern about access to and from their development on 236th Street during construction. ██████████ also attended the meeting in person and filled out a comment sheet.

██████████ and ██████████ sent in a comment form.

Copies of the original email correspondence received is included in Appendix B to this report.

C. Attendees at Development Information Meeting

A development information meeting was held at Alexander Robinson Elementary at 11849 238b Street in Maple Ridge, BC from 5:00pm to 7:00pm on March 14th. Representatives from Alvair attended as well as the project architect, Kasian Architecture.

There were 32 attendees from the public that visited the meeting to review the materials on display and attend the presentation on the plan from the Architect. Please see Appendix C for a copy of the sign-in sheet and Appendix D for the materials that were presented at the meeting.

D. Summary of Comments received

There were a total of 21 comment forms received from the meeting. A brief summary of the comments received is outlined below and the fulsome copy of all of the comments received is included herein as Appendix E.

Residents from St. George that were present showed concerns for getting on Dewdney trunk rd from 236 street. Most People wanted streetlights on 236 and Dewdney and 4 way stop on 119 St and 236 Street.

A lot of comments were in support of the development as well and were excited about new construction in the neighbourhood for younger people.

A lot of young people showed up as well, they were looking for place to move in the area which are living there as tenants.

Supporting the Proposal – 11

Do not support the Proposal/other – 10

Summary of Comments supporting the proposal

- Need more housing types like this
- Nice design and layout
- Support with suggestion for additional parking
- 2 comments with suggestion for a light at 236th Street & Dewdney Trunk, increased traffic concerns
- 2 comments to address safety at the intersection of 236th Street and 119th – suggestion of a 4 way stop and crosswalks
- Support for more density – proposal seen as not dense enough
- Need more supply and housing for young families
- Site Plan is great, more options for my kids to live near me

Summary of Comments not supporting the proposal

- Light needed at 236th Street and Dewdney, stop sign needed at 219th
- Second access onto 236th Street desired
- City should change bylaws to say that residents must park in the complex and not in the street – in their garages – not use for storage
- Traffic issues, crosswalk needed with lights at 236th and 119th.
- Left turning lane needed at Dewdney and 236th Street
- New school , daycares, doctors needed for this development
- Too many units, too high density
- Overflow parking will be on 236th Street - Parking should be paid permit parking on street like other cities
- Concerns for pedestrian safety
- Construction disruption

Summary of how issues and concerns will be addressed

Given that the general nature of the concerns were related to traffic, a traffic study has been commissioned to analyze the traffic generated from the development. The study will also look at the design of the access to the development from 236th Street and impacts downstream on intersections. The results of the study will inform any potential changes to the design in consultation with City staff.

Kunwar Bir Singh
Alvair Development Ltd.



March 6, 2023

City of Maple Ridge
11995 Haney Place
Maple Ridge, BC V2X 6A9

Attention: Rene Tardif

Dear Ms. Tardif:

Re: File: 2022-034-RZ
Legal: Lot: 45, Section: 16, Township: 12, Plan: NWP20770
Lot: 46, Section: 16, Township: 12, Plan: NWP20770
Lot: 47, Section: 16, Township: 12, Plan: NWP20770
Lot: 48, Section: 16, Township: 12, Plan: NWP20770
Lot: 3, Section: 16, Township: 12, Plan: NWP10361
Location: 11956, 11946, 11936 and 11926 236 Street and 23638 Dewdney
Trunk Road
From: RS-3 (Single Detached Rural Residential)
To: RM-1 (Low Density Townhouse Residential), R-2 Single Detached
(Medium Density) Urban Residential

The proposed application would affect the student population for the catchment areas currently served by Alexander Robinson Elementary and Garibaldi Secondary School.

Alexander Robinson Elementary has an operating capacity of 471 students. For the 2022-23 school year the student enrolment at Alexander Robinson Elementary is 539 students (114% utilization) including 146 students from out of catchment.

Garibaldi Secondary School has an operating capacity of 1050 students. For the 2022-23 school year the student enrolment at Garibaldi Secondary School is 973 students (93% utilization) including 267 students from out of catchment.

Based on the density estimates for the various land uses at build out the following would apply:

- For 52 units of townhouse housing, the estimated number of school age residents is 22
- For a three-lot subdivision, the estimated number of school age residents is 2

Sincerely,

Flavia Coughlan
Secretary Treasurer

The Board of Education of School District No. 42 (Maple Ridge – Pitt Meadows)

cc: Louie Giroto, Director, Facilities
Maryam Fallahi, Manager, Facilities Planning
David Vandergugten, Assistant Superintendent